

# 165 S. WASHINGTON ST





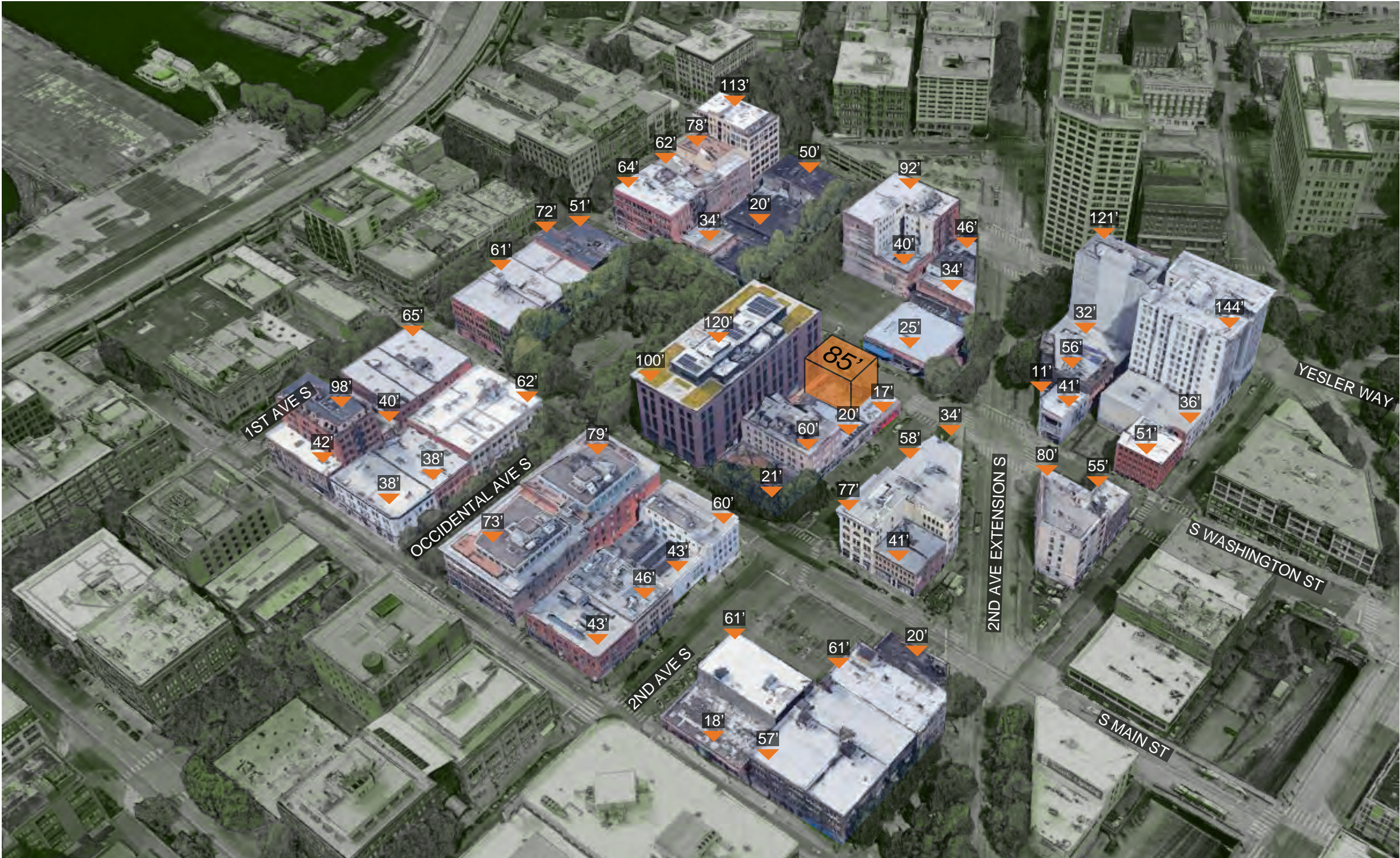
ADJACENT STRUCTURES | SCALE AND HEIGHT

OBSERVATIONS |

Pioneer Square has structures of varying sizes and scales, ranging from single-story commercial structures to structures well over 100 feet tall. Within the immediate vicinity of the site the structures are predominately mid-rise structures, with 45-60 feet being common for older structures. New structures represent the growing density, being 100 feet and taller. Adjacent buildings represent the full neighborhood cross-section, with a 100 foot building (200 Occidental) to the west, and a single-story 17 foot structure (McCoys Firehouse Bar & Grill) to the east. The rest of the block consists of single story commercial building and the 4 story Lucknow mixed-use building.

CONCLUSIONS |

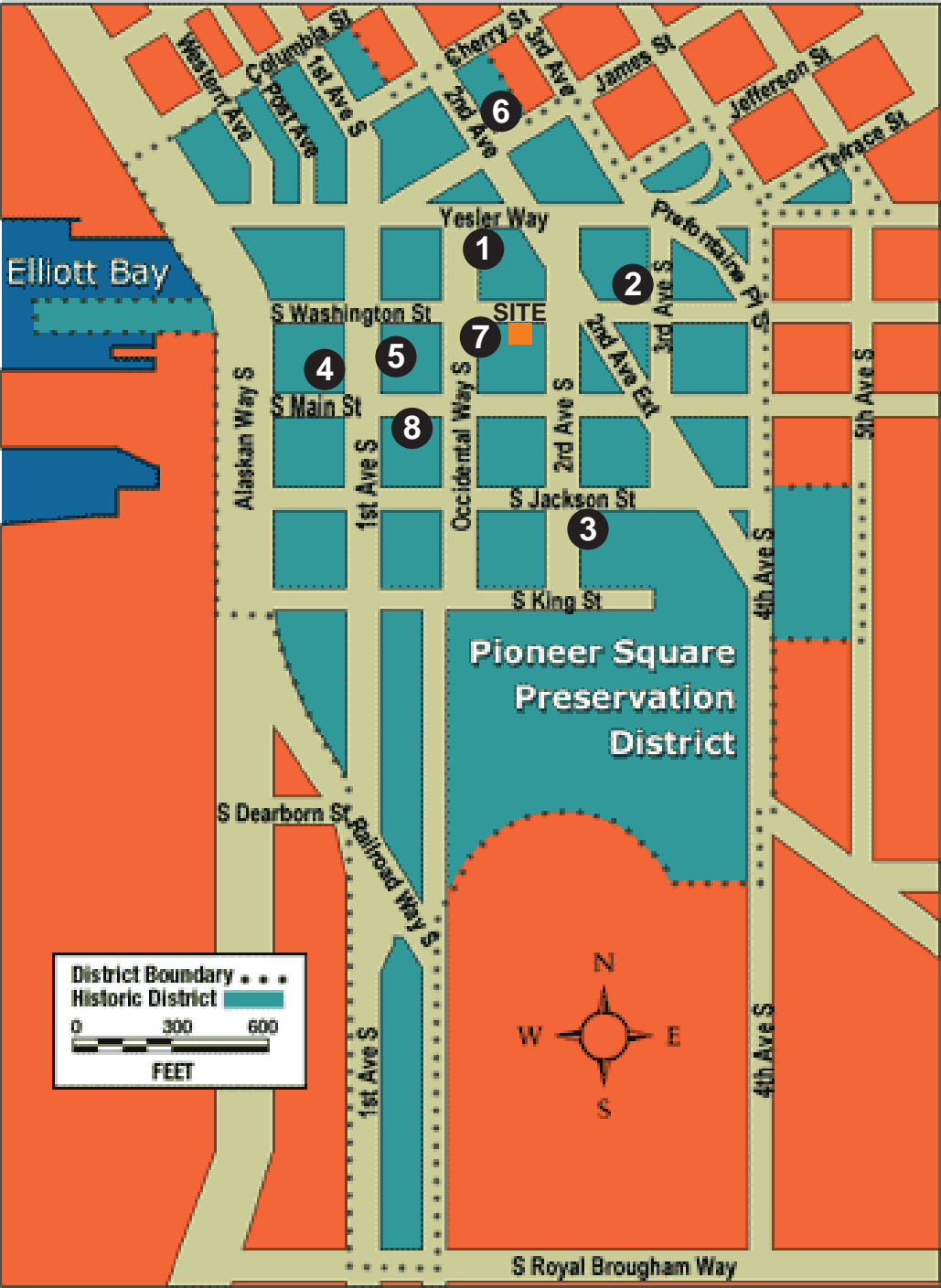
The proposed 85 foot tall structure is appropriate for the pioneer square neighborhood, and is also compatible with the other structures on the block. It is similar in height to both the 200 Occidental building and the similar use Lucknow mixed-use building. Care will be taken in detailing, massing, and design concept to allow the structure to stitch in with the adjacent single-story buildings as well.



Heights are approximate, relative to adjacent grade at each property.



EXISTING / PROPOSED ARCHITECTURE | PIONEER SQUARE



102 OCCIDENTAL AVE S | INTERURBAN



- UNIFIED 1ST & 2ND FLOORS
- MONOLITHIC MATERIALS AND FORM CLEAR TRIPARTITE DESIGN

123 3RD AVE S (UNDER CONSTRUCTION)



- LARGE UPPER-LEVEL GLAZING
- PROMINENT GRID FACADE COMPOSITION
- HIGH TRANSPARENCY AT SIDEWALK

201 S JACKSON ST | KING STREET CENTER



- CONTEMPORARY GLAZING AT ENTRANCE
- STEEL LINTEL WINDOWS W/ MASONRY
- ORNAMENT AT ROOF LINE

80 S MAIN ST



- HIGH CONTRAST MATERIAL PALETTE
- GLASS BALCONIES
- JUXTAPOSITION WITH TRADITIONAL
- MASONRY MATCHING COLOR OF ABOVE PANELS
- STEEL BAYS INTRODUCE CONTEMPORARY SYMMETRY

216 1ST AVE S | GRAND CENTRAL



- VARIETY OF WINDOW SPANS AND ARCHES
- CLEAR DISTINCTION BETWEEN LOWER AND UPPER PROGRAMS
- HABITATION OF IVY ON MASONRY

606 2ND AVE | CORONA LOFTS



- TRIPARTITE DESIGN
- LARGE WINDOW OPENINGS WITH ACCENTED FRAMING, SYMMETRY
- ORNAMENTED EAVE-WORK
- CONTEMPORARY FIRST FLOOR, VISIBLE TRUSSES

200 OCCIDENTAL |



- PROMINENT GRID FACADE COMPOSITION
- TWO STORY COLLECTED BASE EXPRESSION
- HIGH TRANSPARENCY AT SIDEWALK

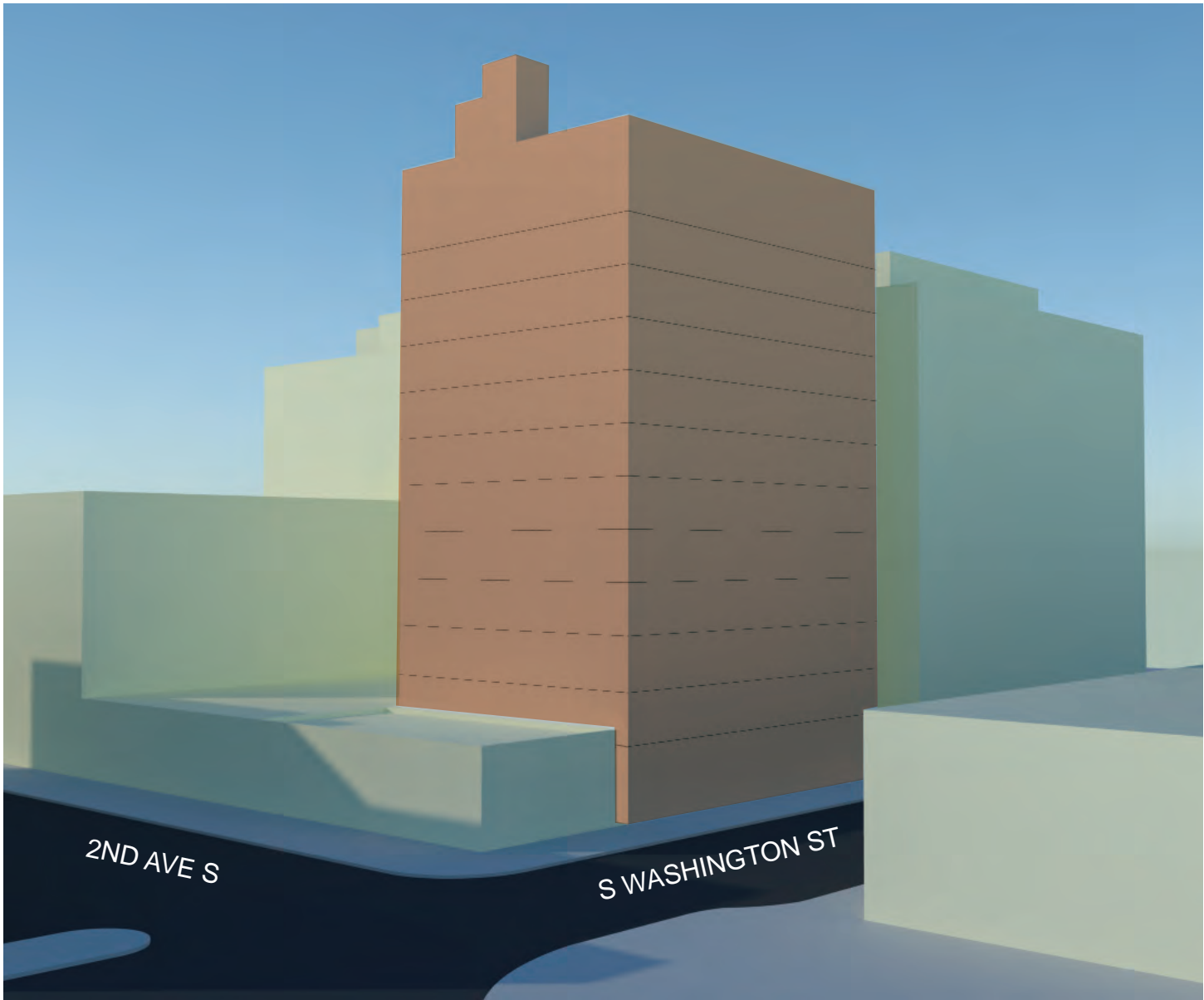
111 S MAIN | UNION TRUST BUILDING



- DISTINCTION BETWEEN FLOORS THROUGH SHAPE AND FRAMING
- HIGH CONTRAST FIRST FLOOR
- VERTICALITY OF HIGHER FLOORS AND PILASTERS

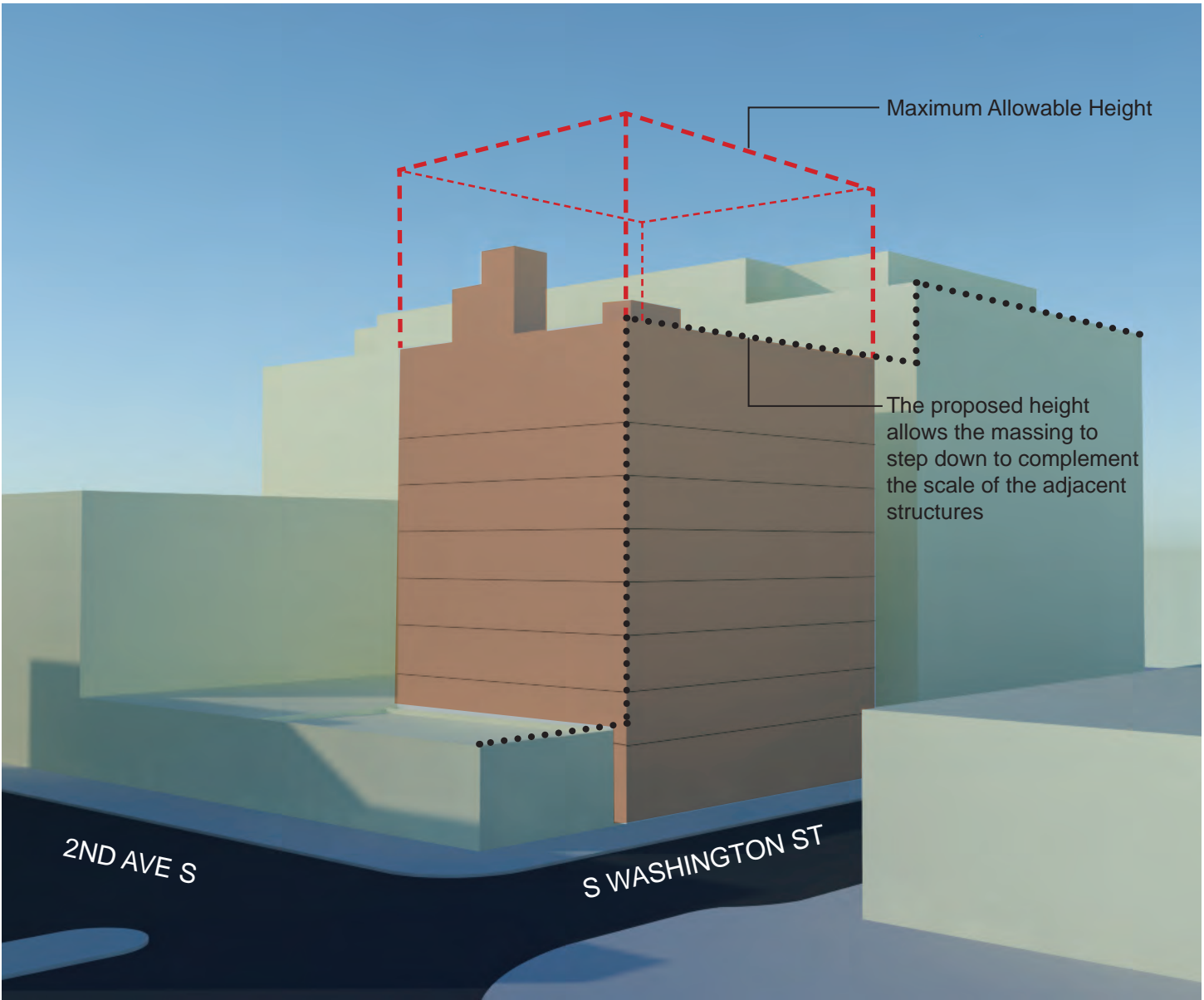


BUILDING DESIGN | HEIGHT AND SCALE



ALLOWABLE HEIGHT | 120'

- The allowable height is 120 feet, resulting in a building taller than the adjacent 200 Occidental building, and over 100 feet taller than the adjacent single-story McCoy's Firehouse Bar & Grill.
- This feels disproportionate with the immediate context, and a smaller building could provide a better transition and response to the small site and neighboring structures.

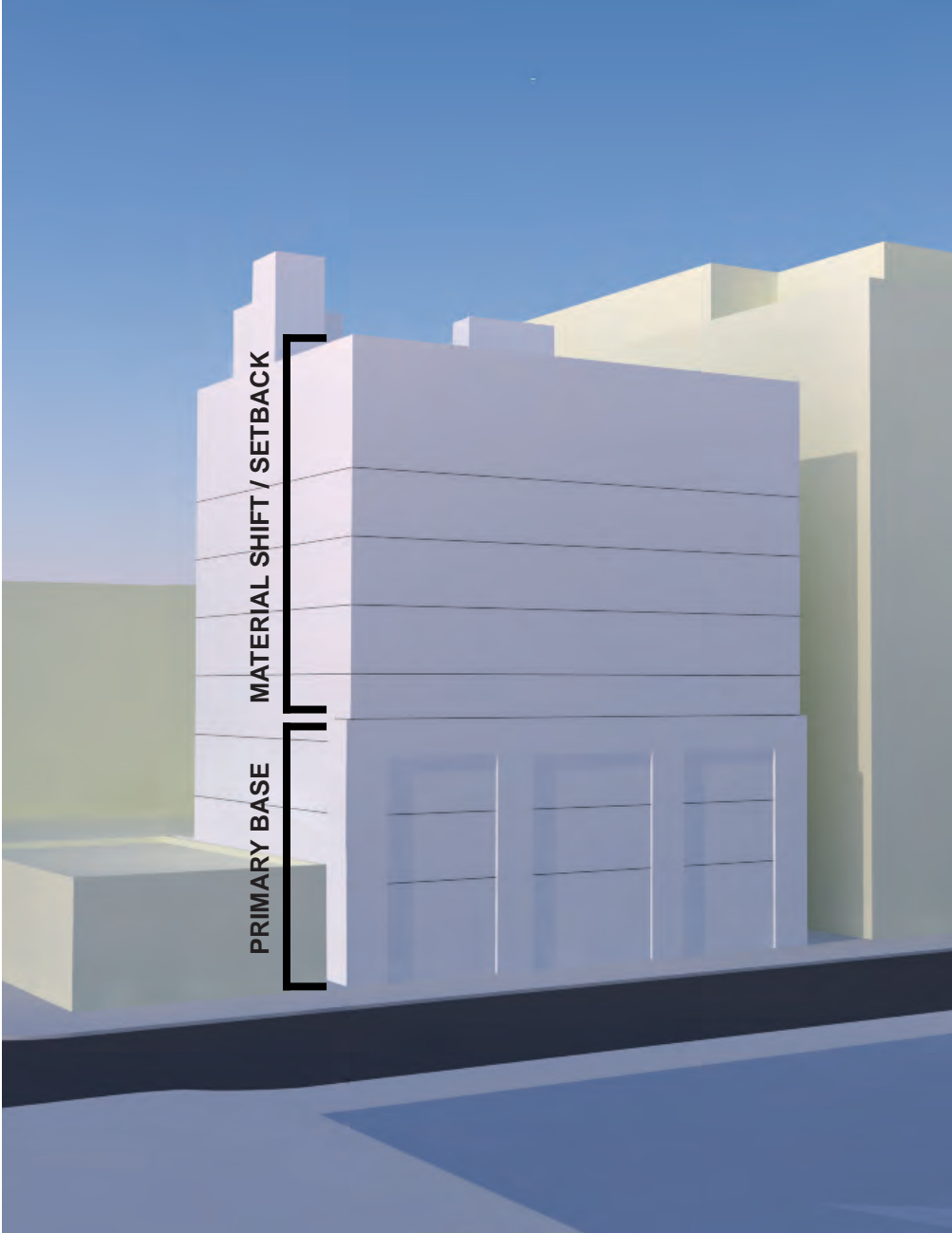


PROPOSED HEIGHT | 85'

- The proposed 85 foot tall structure, 35 feet below the maximum allowable height, creates a desirable intermediate transition between the taller structure on the west end of the block to the smaller structures to the east.
- The proposed height is also generally more consistent with the height and scale of other mixed-use structures on similar size lots, such as the Lucknow building and the Union Gospel Mission.



BUILDING DESIGN | BASE / TOP



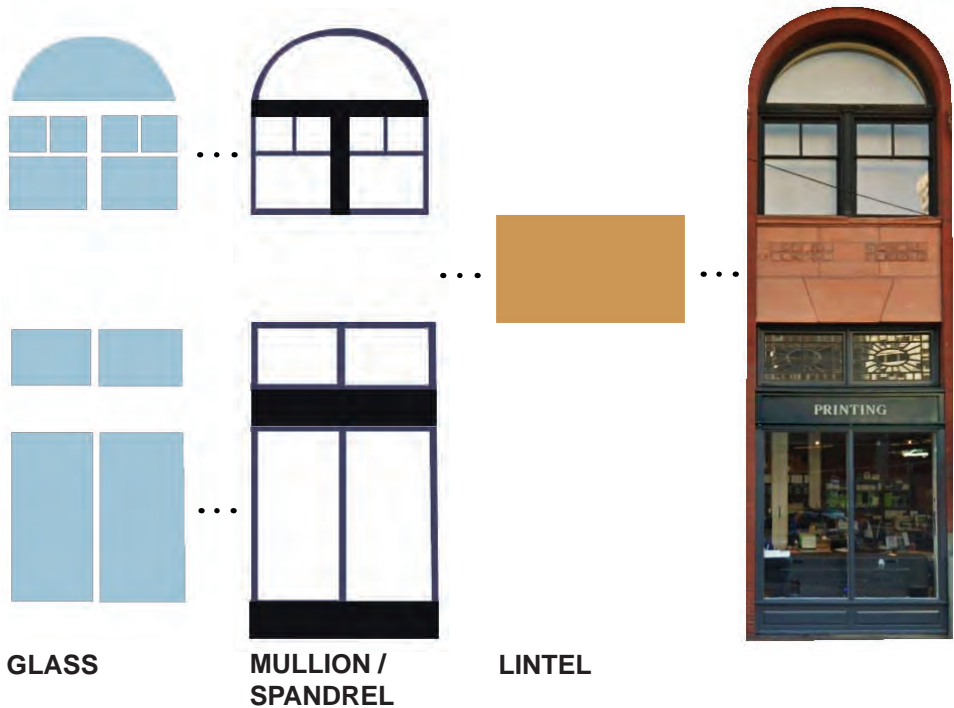
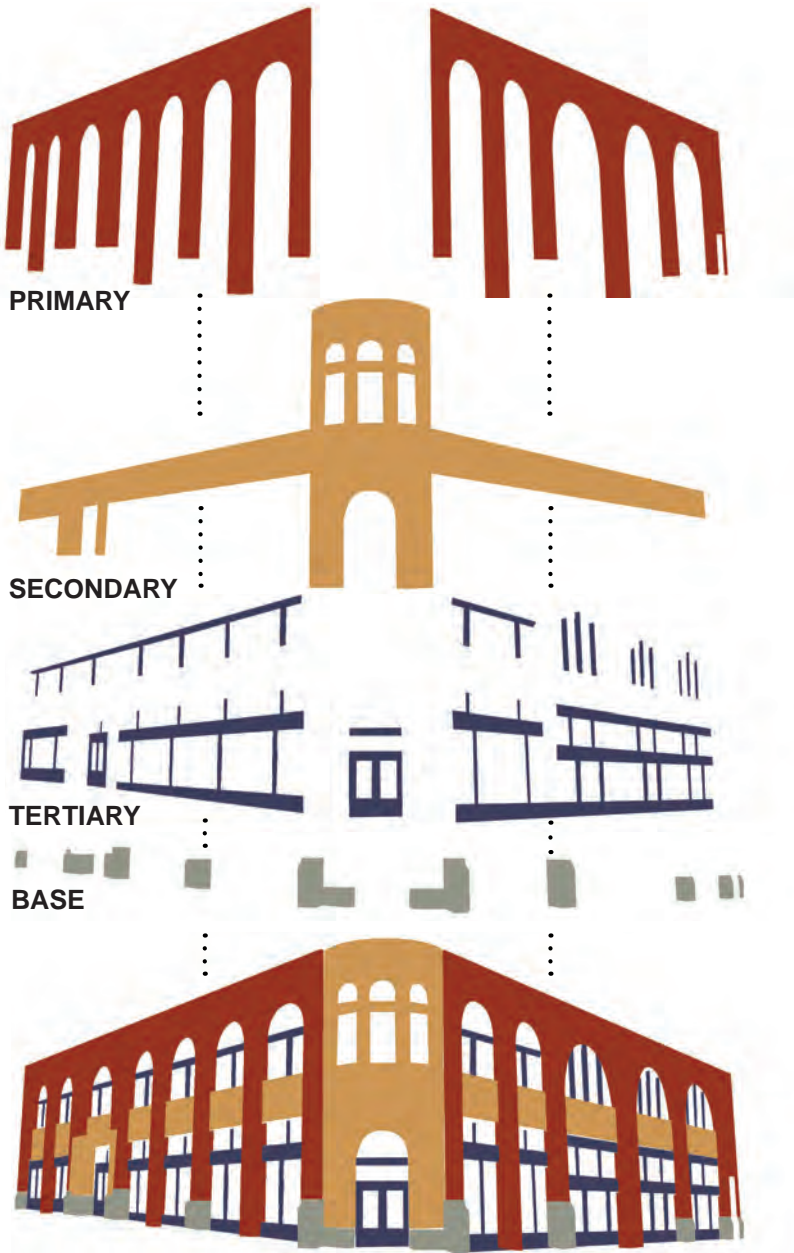
BASE | TOP - CONCEPT MODEL

BUILDING EXAMPLES

- 1. Union Trust Building
- 2. Yesler Building
- 3. Washington Park Building
- 4. Seattle Fire Department Headquarters



FACADE ORGANIZATION | MATERIALS & LAYERS



NEIGHBORHOOD SCALE | MACRO

A building reveals itself as one approaches it, and materiality is the most outright means of organization and separation. Textures and colors create clear divisions and patterns, especially through depth and thickness. At the neighborhood scale, materiality can separate base, middle and top portions.

INTERMEDIATE PEDESTRIAN REALM | MEDIAN

At this scale, materiality itself becomes the layers and organization of a building facade. In this example, terracotta arches and pilasters create window bays that are intersected by a primary lintel and building entrances.

PEDESTRIAN REALM | MICRO

At the smallest “pedestrian” scale, materials and layers can create nuanced patterns and characteristics within smaller portions of a building, such as window bays. Dimensionality and depth are also the most apparent at this scale.

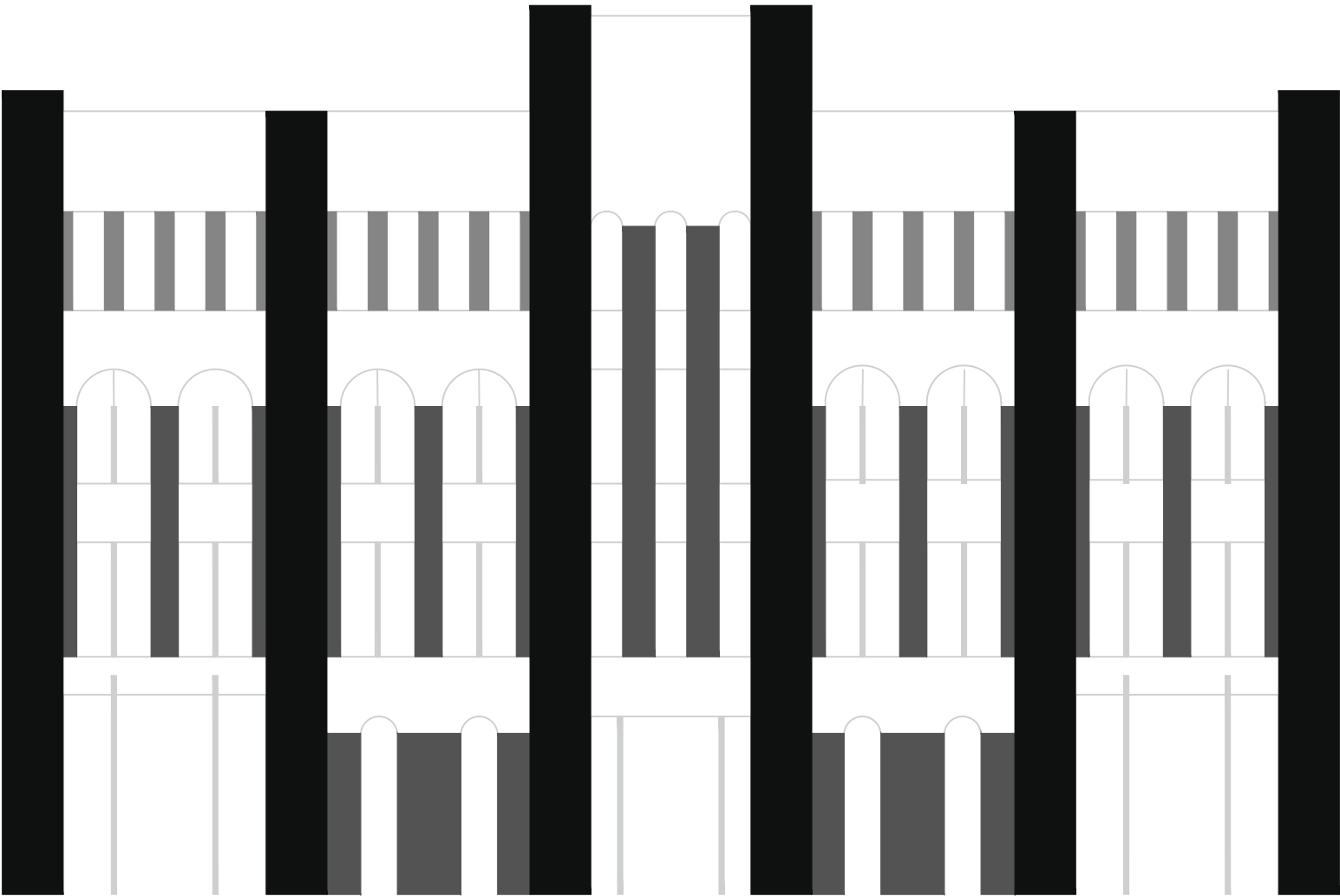


FACADE ORGANIZATION | VERTICAL



VERTICAL ELEMENTS

Depth and thicknesses also create visual hierarchies in vertical elements. Pilasters and columns create unifying patterns and rhythms amongst windows and horizontal elements. These typically carry up an entire facade, but are also often broken at the base portion to signify separation.



VISUAL HIERARCHY

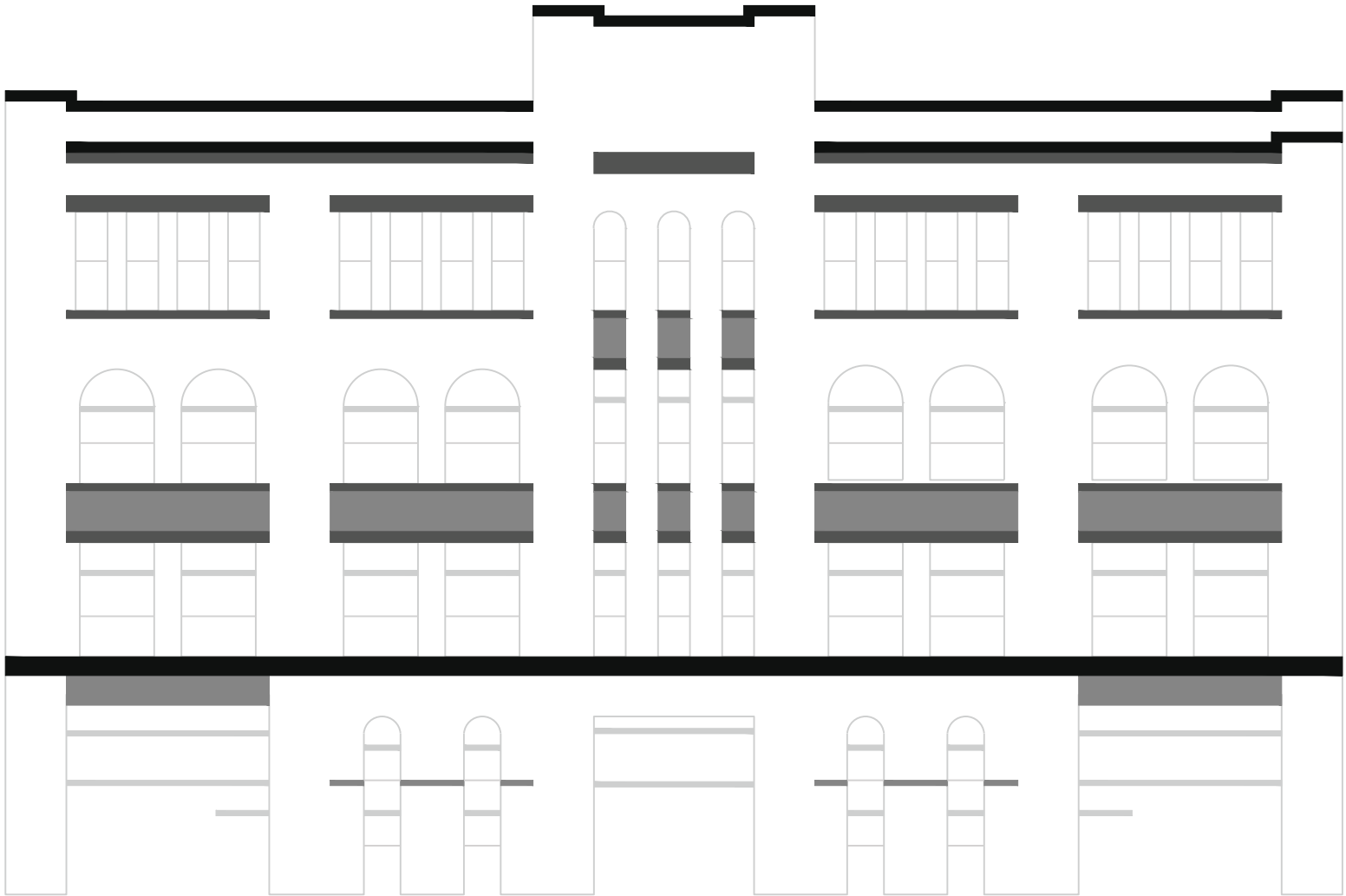


FACADE ORGANIZATION | HORIZONTAL



HORIZONTAL ELEMENTS

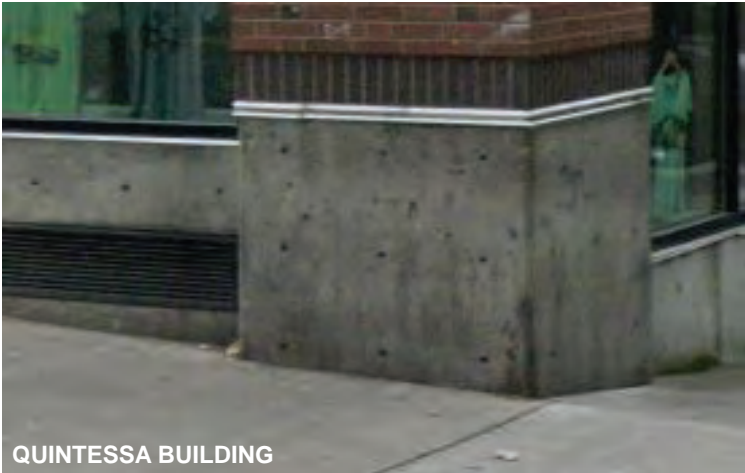
Depth and thicknesses create visual hierarchies in horizontal elements. In this example, cornices span across the entire facade and act as prominent ‘collars’ of separation. Ornamental parapets are also common and create a distinguishable cap to top portions of buildings.



VISUAL HIERARCHY



BASE MATERIALS | PEDESTRIAN REALM



QUINTESSA BUILDING



103 S MAIN



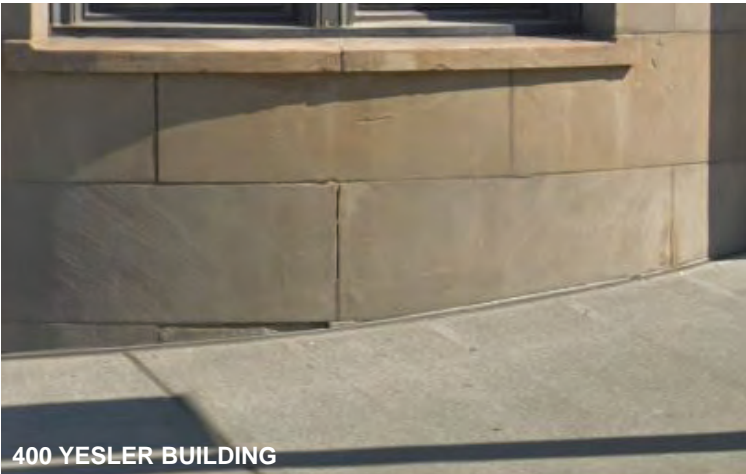
SMITH TOWER



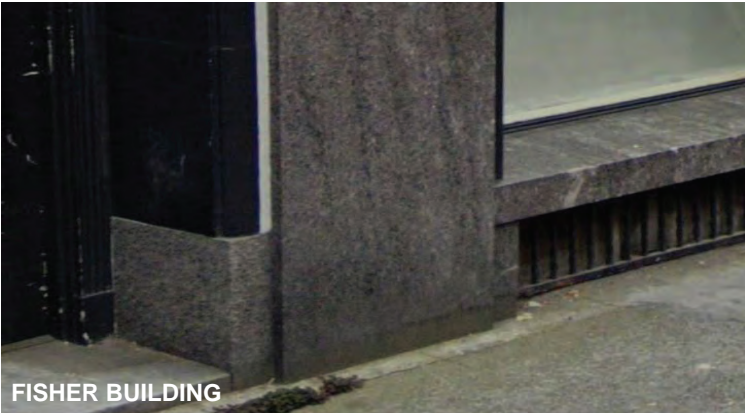
42 YESLER



IMPACT HUB SEATTLE



400 YESLER BUILDING



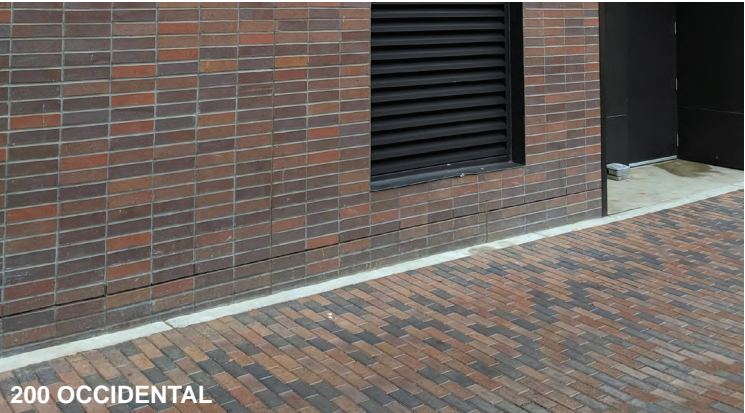
FISHER BUILDING



PIONEER SQUARE HOTEL



INTERURBAN BUILDING



200 OCCIDENTAL

CONCRETE

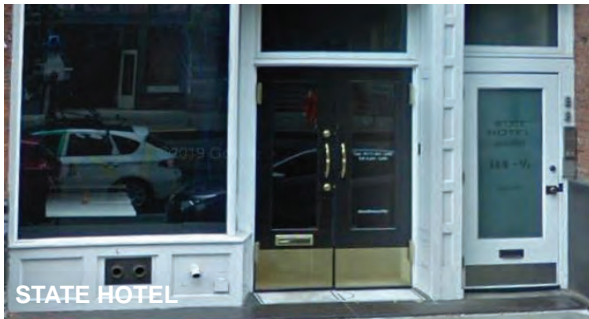
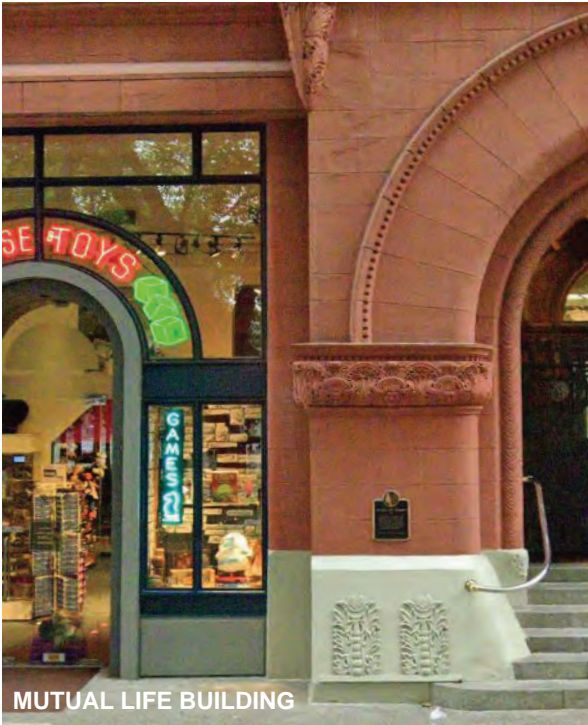
SANDSTONE

GRANITE

BRICK



FACADE MATERIALS | PEDESTRIAN REALM



BRICK / TERRACOTTA

SANDSTONE

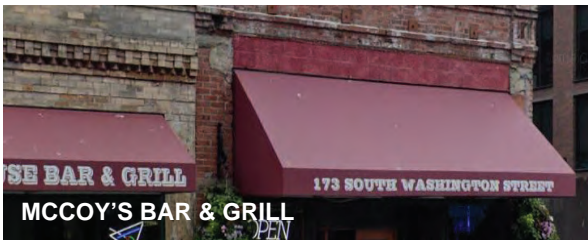
TILE

WOOD

STEEL



ORNAMENTATION | INTERMEDIATE PEDESTRIAN REALM



CORNICES & PARAPETS

PILASTERS

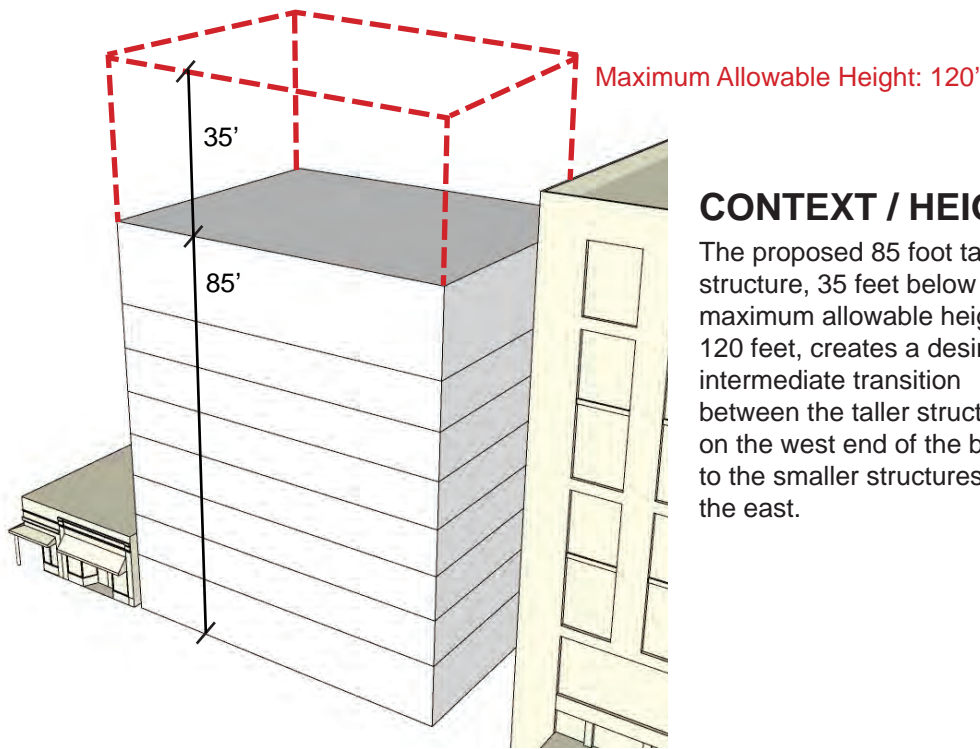
CANOPIES AND AWNINGS

BALCONIES & FIRE ESCAPES

BRICK PATTERNS

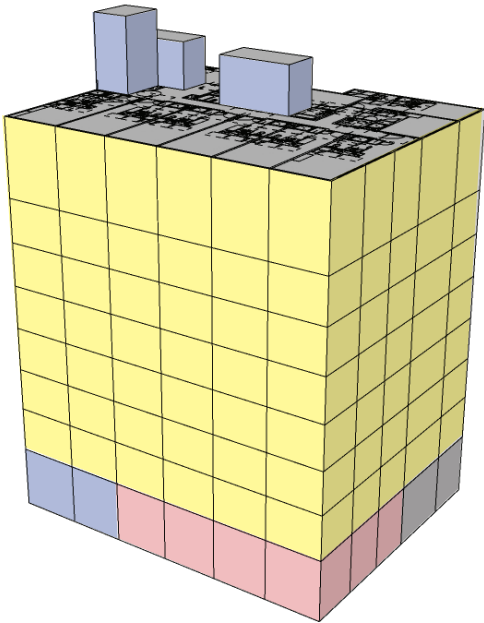


EVOLUTION | SUMMARY



CONTEXT / HEIGHT

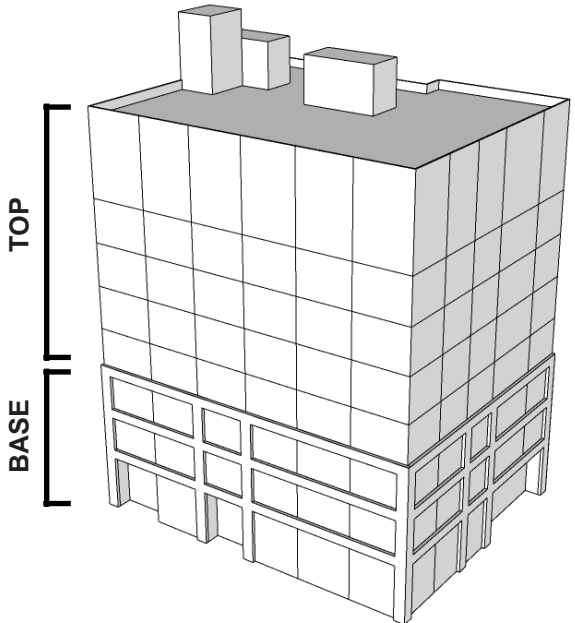
The proposed 85 foot tall structure, 35 feet below the maximum allowable height of 120 feet, creates a desirable intermediate transition between the taller structure on the west end of the block to the smaller structures on the east.



PROGRAM

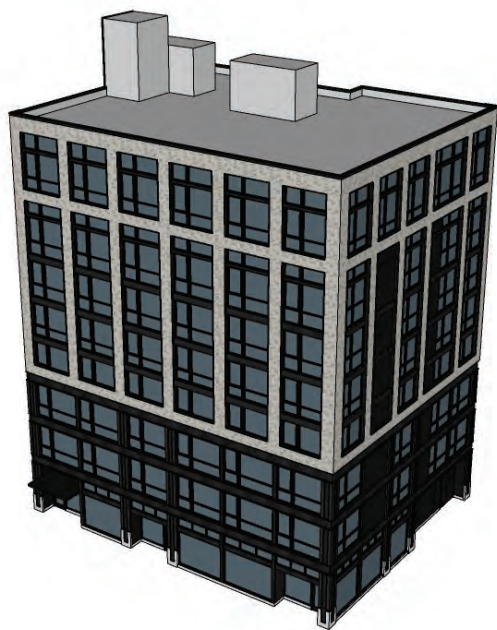
Unit layout and demising walls begin to form a grid pattern on the facade.

- KEY
- RESIDENTIAL
  - COMMERCIAL
  - COMMON / CIRCULATION
  - SERVICE



PROPORTION

The proposed design references a base/top facade expression that can be seen on most of the structures in Pioneer Square.



MATERIALITY

Brick is the principal facade material of Pioneer Square. At the neighborhood scale, the top portion of the proposed design references this materiality. At the pedestrian realm, long horizontal steel elements create a heavy, rusticated base.



GRID MANIPULATION

Both vertical and horizontal grid lines are kept intact, but grid elements shift to render a more dynamic facade. Base materiality unifies with top brick materiality to simplify overall composition. Introduction of gasket in lieu of material change to express separation of base and top.

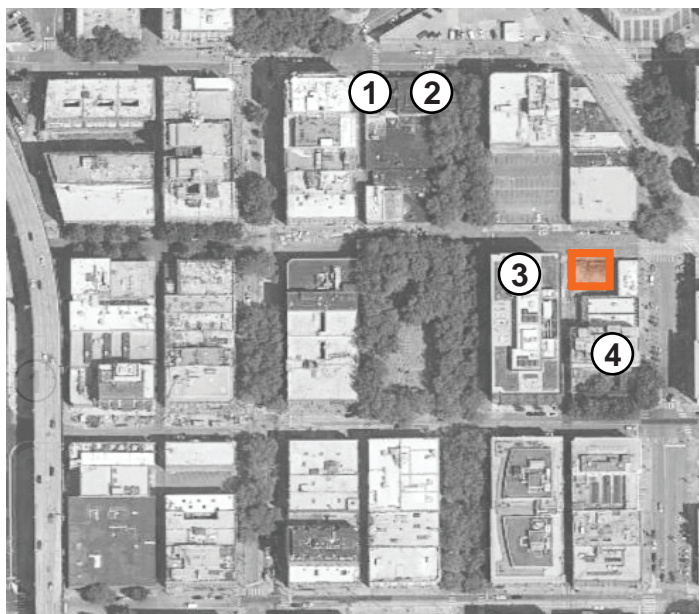


REFINEMENT / BOARD GUIDANCE


In response to guidance and comments from the ARC, the facade composition is simplified and refined to a rigorous vertically oriented grid of collected windows with increased compatibility with the historical structures in the district. The gasket is relocated 1-story lower to refine the base / top proportions.



DESIGN PROPORTIONS - TOP



LEGEND

# IMAGE LOCATION       SITE LOCATION

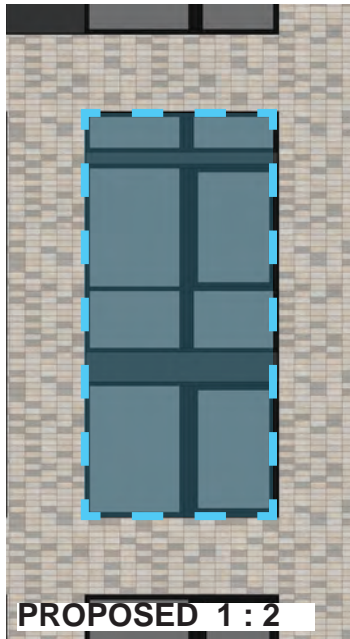
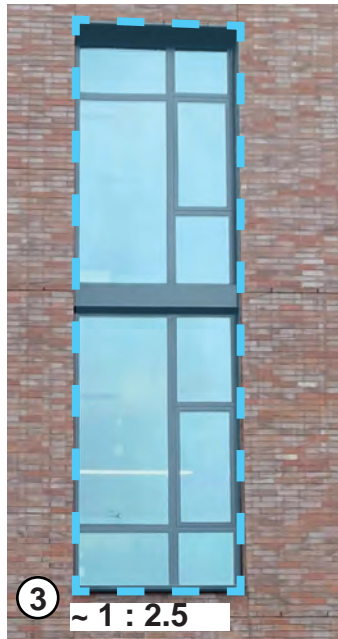
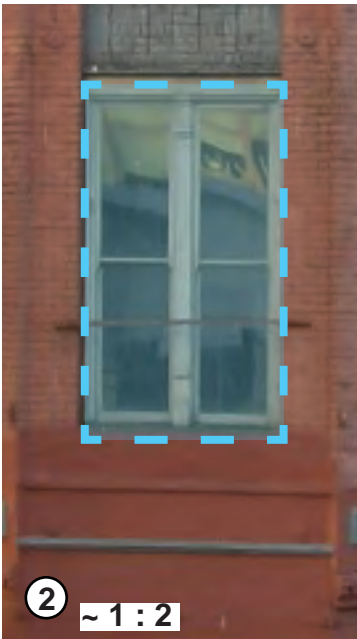
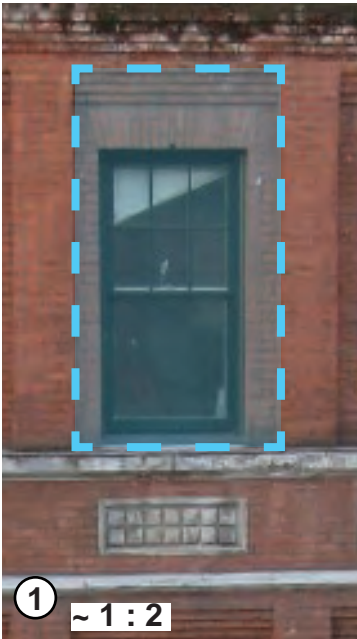
PROPORTION PRECEDENTS

- 1. Merchant's Cafe
- 2. Korn Building
- 3. 200 Occidental
- 4. Lucknow Building
- 5. Canton Lofts

The upper story volume of the structure consists of vertical pilasters separating repetitive window bays. Those windows are further collected in vertical frames. These elements of the facade composition are designed to:

- Be compatible with the patterns, scales, and proportions of other buildings in the district, both older, historic facades within the district and also newer construction of similar height and scale
- Fit within the composition of the structure's facade to help dissolve the building's perceived height, bulk, and scale
- Establish ratios and proportions that are individually rational, composed, and pleasing to the eye.

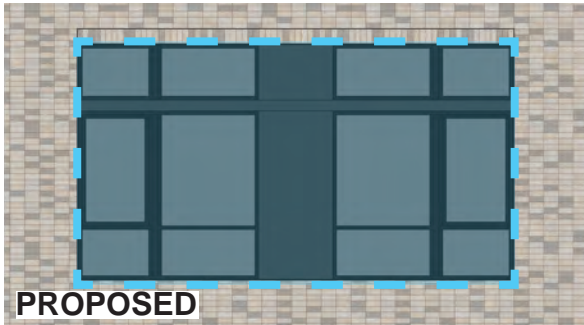
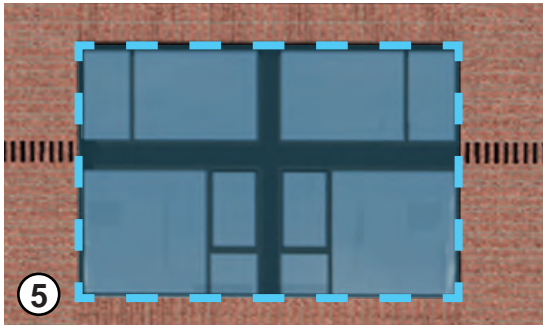
A. ~1:2 / ~ 1:2.5 VERTICAL WINDOW PROPORTION



Historical structures such as the Merchant's Cafe ① & Korn building ② have large, vertically oriented single buildings that are comparable to the two-story vertically collected windows in the overall facade composition, due to their lower height (3 stories). The adjacent 200 Occidental building ③ is of similar height, bulk, and scale as the proposed building and has a compatible architectural expression of dark colored glazing and spandrels inset within brick pilasters. Due to the floor to floor height of the office building, they have a slightly more vertical 1 : 2.5 proportion.

The verticality of the window patterning at the upper stories for both the historic structures and newer development establish this vertical 1 : 2 or 1 : 2.5 proportion that is mirrored on the upper stories of the proposed facade.

B. ~2:3 HORIZONTAL WINDOW PROPORTION



The top story windows are collected in horizontal pairs to create a tertiary "cap" story, a common design trait in the district. These pairs of windows create a roughly 3: 2 horizontal ratio that can be found on historic buildings, such as the Lucknow Building. ④ The newer nearby Canton Lofts is another structure of similar scale that utilizes a rhythm of brick pilasters with inset, infill glazing similar to the proposed structure. It's windows are collected in horizontal pairs, with a heavier intermediate horizontal mullion. The proposed structure reflects this proportion with comparably scaled paired window collections and a similar horizontal mullion.



DESIGN ELEMENTS - TOP



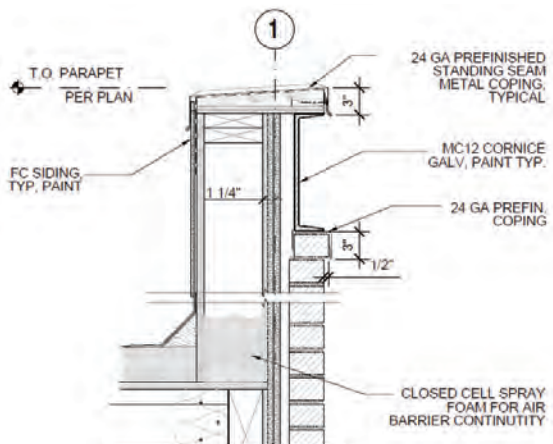
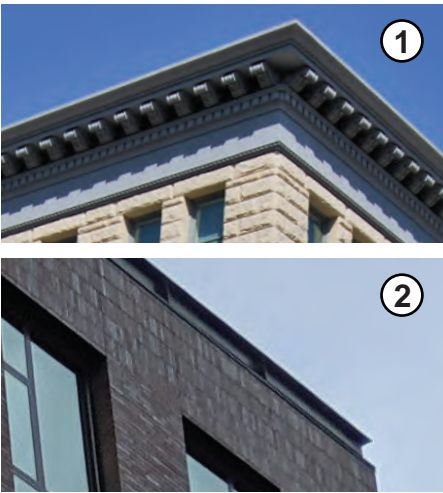
**LEGEND**

# IMAGE LOCATION     SITE LOCATION

**ELEMENT PRECEDENTS**

- 1. Furuya Building
- 2 / 4. 200 Occidental Building
- 3. State Building
- 5. Union Trust Building
- 6. 450 Alaskan Way Building

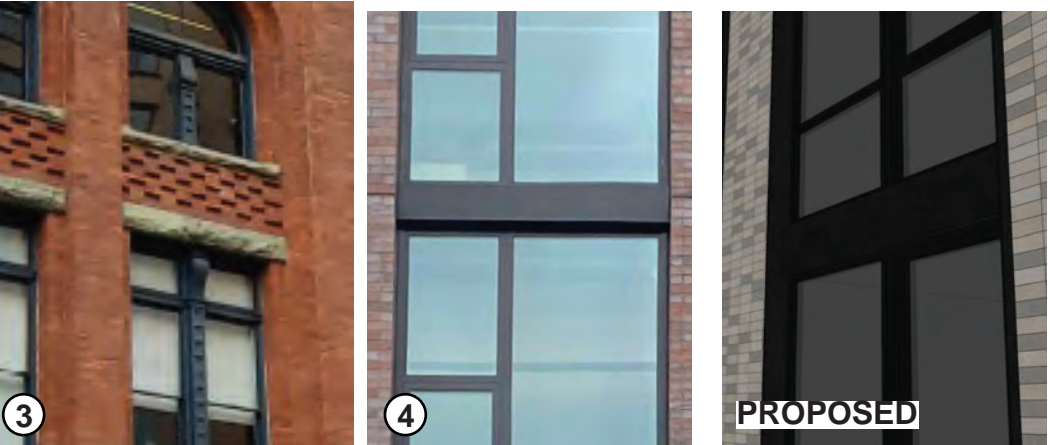
A. CORNICE DETAIL



PROPOSED DETAIL

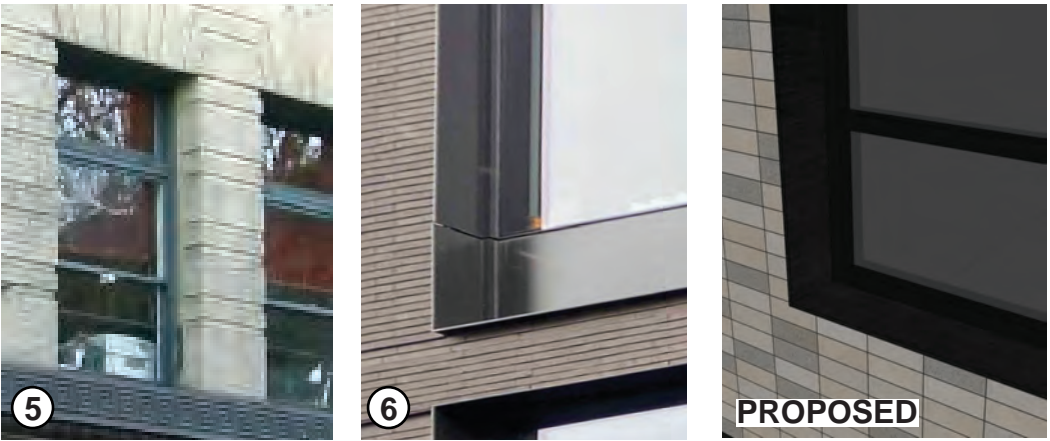
The top of buildings within the district typically terminate in some form of cornice, either made of decorative masonry, stone, cast iron ① or, on more modern structures ②, steel channel. The proposed cornice detail provides a clean, modern terminus that responds to the historical context but does not attempt to “mimic” historical structures and is true to the architectural expression of the building

B. EXPRESSED SPANDREL



The building facade is composed of a brick frame, with the windows recessed within the composition. Where multiple stories are collected in a single frame, a secondary expressed spandrel occurs, adding further depth to the facade while allowing the brick material to maintain its status as the primary facade material. These secondary mullions occur in many forms throughout the district, always as a way of allowing the primary structural expression to remain primary while other materials and datums recede as secondary and tertiary expressions. Historic, entirely masonry constructed facades often do these with contrasting masonry patterns, ③ while newer construction, such as the adjacent 200 Occidental ④ building provide a simple metal spandrel that respects the historic precedent in a modern way. The proposed design looks to continue this pattern with a clean black metal spandrel that unifies with the dark windows and connects with the black steel elements incorporated into the building’s design.

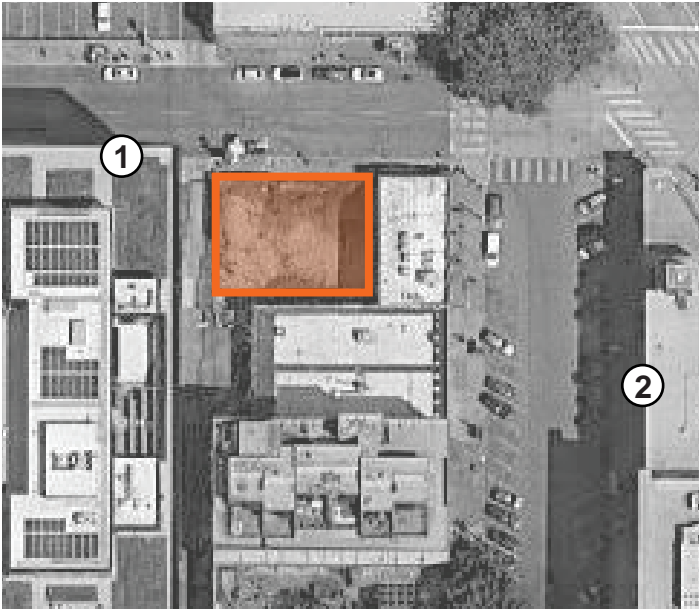
C. DEEP-SET FRAME



Deep, inset window frames on upper stories are another common design element throughout the district. In the traditional masonry construction commonly used to construct many of the historic buildings, ⑤ they are inherent to the structure, required to punch light through the thick, load-bearing masonry walls. For modern construction, where brick is often a veneer this depth can be achieved by incorporating metal trims or plates to create depth. ⑥ Where windows occur within the proposed brick frames of the street facing facade, the edge of the brick is captured by a thick steel plate detail that accentuates the depth of the brick as well as providing additional shade, shadow, and relief. The steel materiality also ties into the storefront details, spandrels, and cornice contrasting the light colored masonry.



DESIGN PROPORTIONS - BASE



**LEGEND**

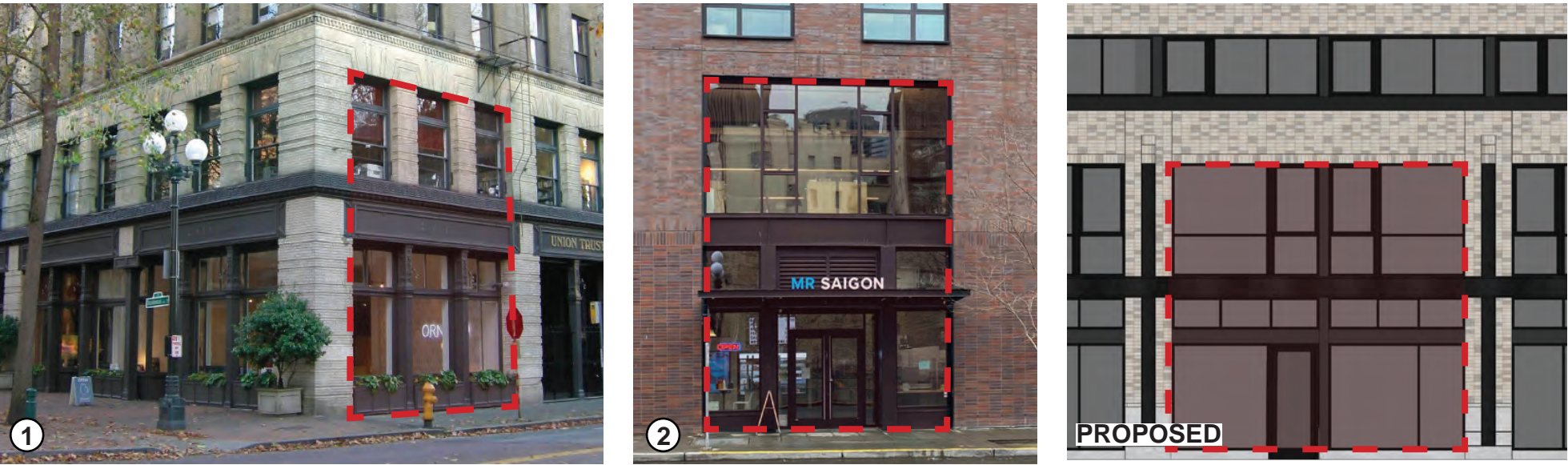
# IMAGE LOCATION    SITE LOCATION

**PROPORTION PRECEDENTS**

- 1. Union Trust Building
- 2. 200 Occidental Building
- 3. 201 S Washington Street
- 4. Lucknow Building

The base proportions and massing pull from pioneer square and the adjacent structures in relation to height and spacing of the pilaster / frame expression. Throughout Pioneer square, the articulation of the ground floor varies, but collecting multiple stories into a single “base” expression is prevalent throughout the district. Due to the additional height of the ground floor retail, transoms and louvers often occur above the storefront glazing.

A. TWO-STORY BASE



While there are a variety of proportions, rhythms, and expressions for the ground level retail throughout the district, The retail bays are often collected in a base element. The height of the base varies based on adjacencies, historical context, and the overall scale and massing of the building. On shorter 2 and 3 story buildings it is often only the ground floor, where on taller structures it typically incorporates at least one additional floor into the “base” expression. ① This condition is found on the adjacent 200 Occidental building, ② and as the structures share frontage along Washington, the relationship between the two buildings is especially relevant. Collecting the L1 and L2 story fenestration into a single two story frame plus gasket is proportional to 200 Occidental's collection of two, larger story's into a base frame. Further detailing of the proportion through relevant horizontal datums, storefront and upper level window datums, and street level detailing refine the composition.

B. RETAIL STOREFRONT RHYTHM



The street level storefront within the district is typically divided by vertical pilasters or piers, in a variety of proportions and heights based on the building's scale, composition, and use. Nearby comparable with structures, ③ such as the Lucknow Building ④ are divided into three equal bays, similar to the proposed structure. Design elements such as transom windows above the primary storefront and incorporation of canopies and overhead weather protection at primary entrances are common throughout the district and incorporated into the proposed design.



DESIGN ELEMENTS - BASE



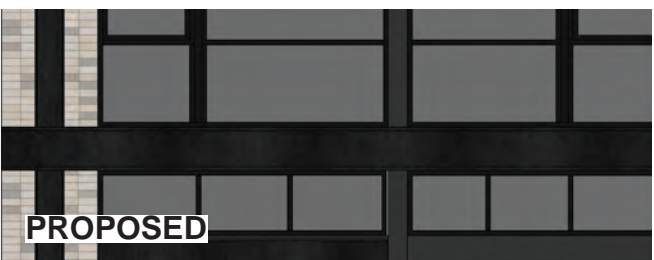
**LEGEND**

# IMAGE LOCATION      SITE LOCATION

**ELEMENT PRECEDENTS**

- 1. Grand Central Arcade
- 2. Cone & Steiner
- 3. 200 Occidental Building

A. HORIZONTAL STEEL CHANNEL



Where multiple stories of a structure are collected within a single base, the ground floor is typically a unique expression, due to the commercial use, adjacency to the street, and additional floor-to-floor heights. As such, the floors above, even when unified within the base, are typically still set apart from the street level retail by a strong horizontal datum. ① In the case of the proposed structure, a heavy steel beam reflects this district precedent and relates to the steel accents used throughout the facade.

B. TERTIARY HIGH-RELIEF ELEMENTS



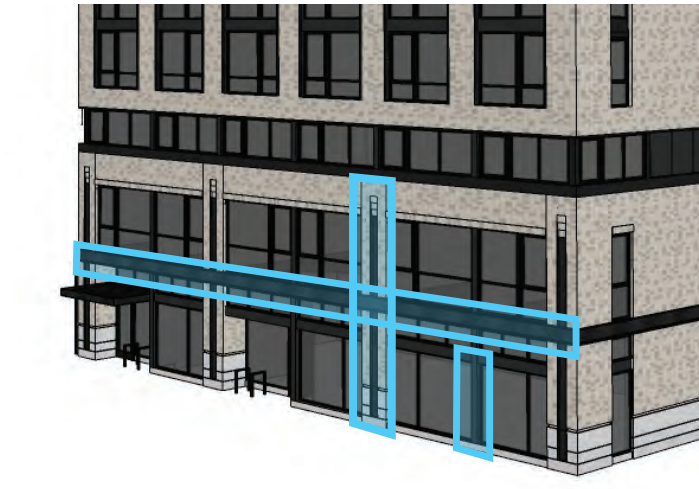
Example of proposed detail executed for current project on Capitol Hill

The primary brick pilasters engage the street with a high-relief, tactile detail where an embedded steel column links the brick pilaster to a concrete base. Similar steel accents are found throughout the district, ② making this detail relevant in context, as well as providing fine-grained, human-scale detail at the pedestrian realm - an important trait of both historic and newer construction within the Pioneer Square neighborhood. The steel channel is also consistent with other steel elements, such as the cornice and inset steel on the upper stories, and the horizontal steel header above the Level 1 storefront.

C. DURABLE PILASTER



The base is primarily grounded by the large brick pilasters, but secondary vertical mullions and pilasters divide up the storefront. These provide a complementary but distinct expression from the embedded steel channels in the pilaster, and mirror the layering of brick, glass, and steel spandrels at the upper stories of the structure. A similar condition occurs on the adjacent 200 Occidental building. ③





## BUILDING PROPORTION & FACADE STUDIES

### Objective

Through our studies we are seeking to design a building that is compatible with the Pioneer Square Preservation District Ordinance and Rules, the Secretary of the Interior's Standards for Rehabilitation, and 'New Construction within the Boundaries of Historic Properties' developed by the National Park Service.

We seek to recognize the history to the previous buildings of the lot, the Casino Hotel (165 S. Washington) and the Store Building (167 S. Washington), by referencing their scales and use, while also complimenting the structures in the immediate vicinity and drawing precedent throughout the Pioneer Square Preservation District.

### Relative Excerpts

#### Standard 9 - Secretary of the Interior Standards for Rehabilitation

*New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. **The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features** to protect the historic integrity of the property and its environment.*

#### Item 5 - 'New Construction within the Boundaries of Historic Properties,' National Park Service

*As with new additions, the massing, size, scale, and architectural features of new construction on the site of a historic building must be compatible with those of the historic building. **When visible and in close proximity to historic buildings, the new construction must be subordinate to these buildings. New construction should also be distinct from the old** and must not attempt to replicate historic buildings elsewhere on site and to **avoid creating a false sense of historic development.***

#### Rule B - Rules for the Pioneer Square Preservation District

*Building design is generally typified by **horizontal divisions which create distinctive base and cap levels.** Facades may also be divided vertically by pilasters or wide piers which form repetitive window bays. Street facades are also distinguished by heavy terminal cornices and parapets, ornamental storefronts and entrance bays and repetitive window sizes and placement.*





STREET LEVEL PLAN

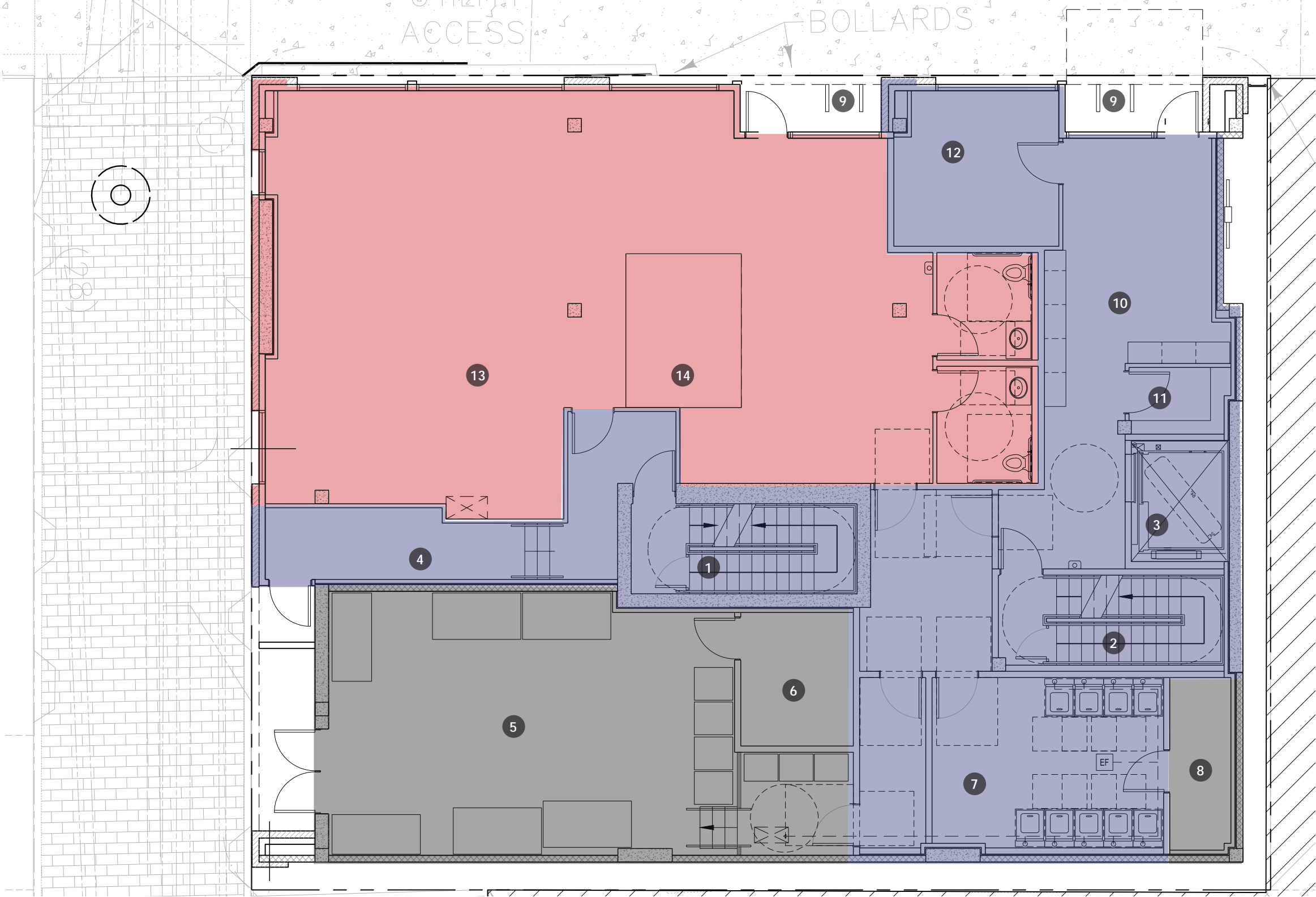
KEY

- DWELLING UNITS
- NON RESIDENTIAL
- COMMON / CIRCULATION
- SERVICE

- 1 WEST STAIR
- 2 EAST STAIR
- 3 ELEVATOR
- 4 EXIT PASSAGEWAY
- 5 GARBAGE / RECYCLING
- 6 ELECTRICAL
- 7 RESIDENTIAL LAUNDRY
- 8 SPRINKLER
- 9 SHORT-TERM BIKE PARKING
- 10 RESIDENTIAL LOBBY
- 11 PARCEL ROOM
- 12 LEASING OFFICE
- 13 RESTAURANT / RETAIL
- 14 STAIR TO BASEMENT



0' 4' 8'

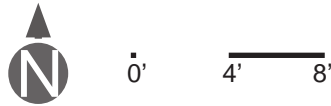
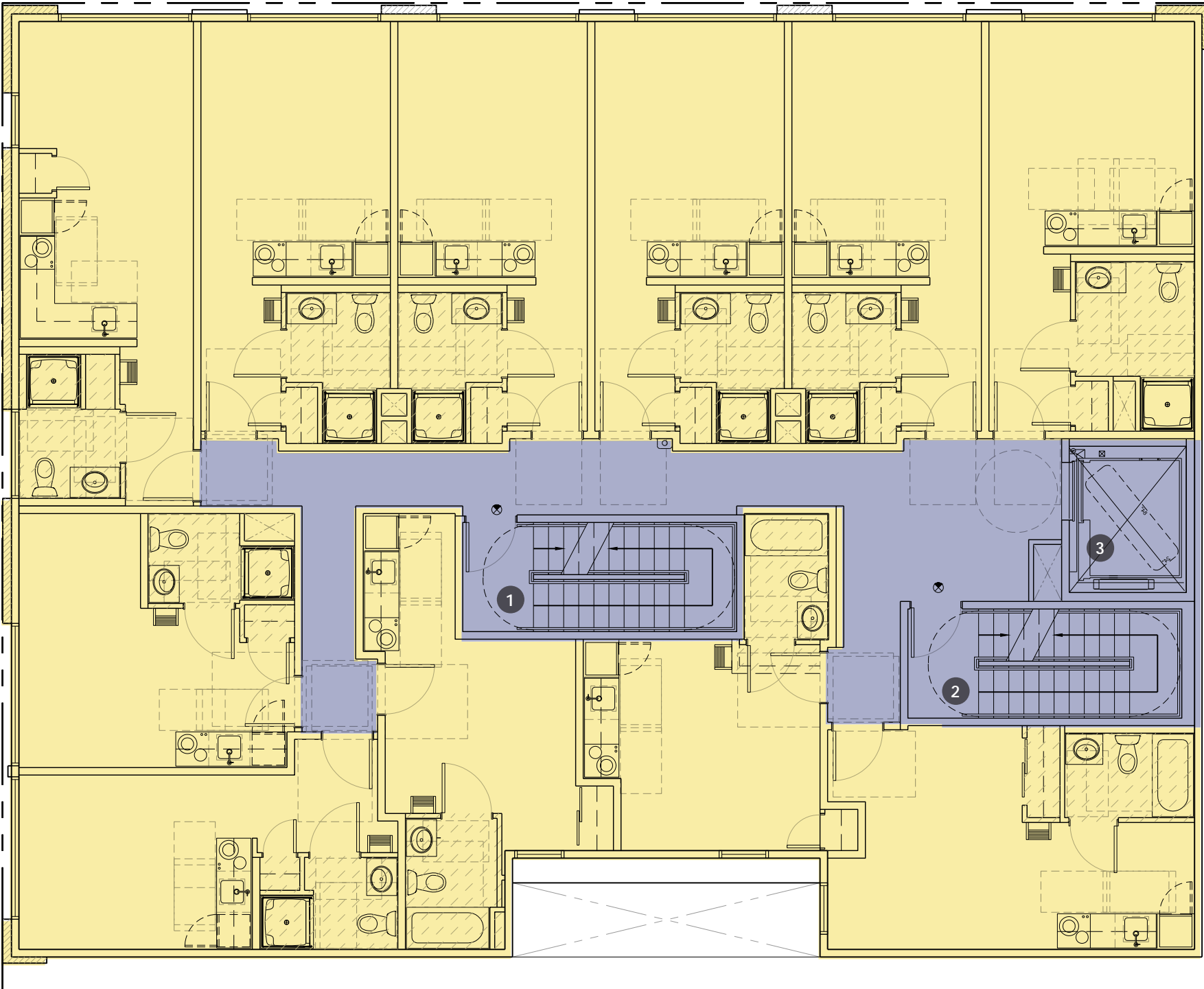




UPPER LEVEL PLAN | 7 & 8

KEY

- DWELLING UNITS
- NON RESIDENTIAL
- COMMON / CIRCULATION
- SERVICE
- 1 WEST STAIR
- 2 EAST STAIR
- 3 ELEVATOR

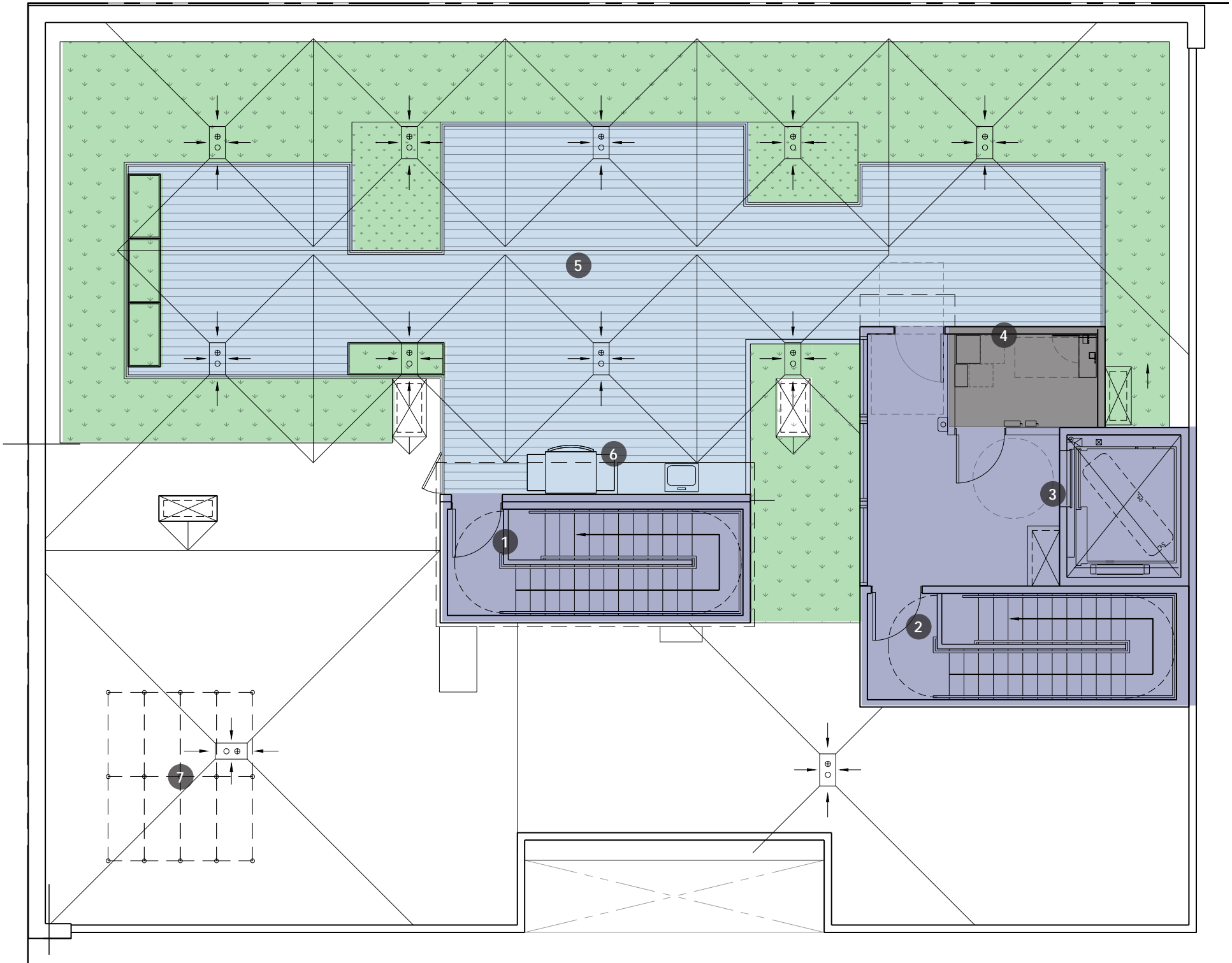




ROOF PLAN

KEY

- GREEN ROOF
- ROOF DECK
- COMMON / CIRCULATION
- SERVICE
- 1 WEST STAIR
- 2 EAST STAIR
- 3 ELEVATOR
- 4 ELEVATOR CONTROL ROOM
- 5 COMMON AMENITY ROOF DECK
- 6 OUTDOOR GRILL / COUNTERTOP
- 7 SOLAR PANELS



0'

4'

8'



## PRECEDENT | PROPORTIONS



### BASE | TOP

- Facade divided into a primary base and upper stories
- Material palette often varies between base and top
- Most common design

### HISTORICAL PRECEDENT

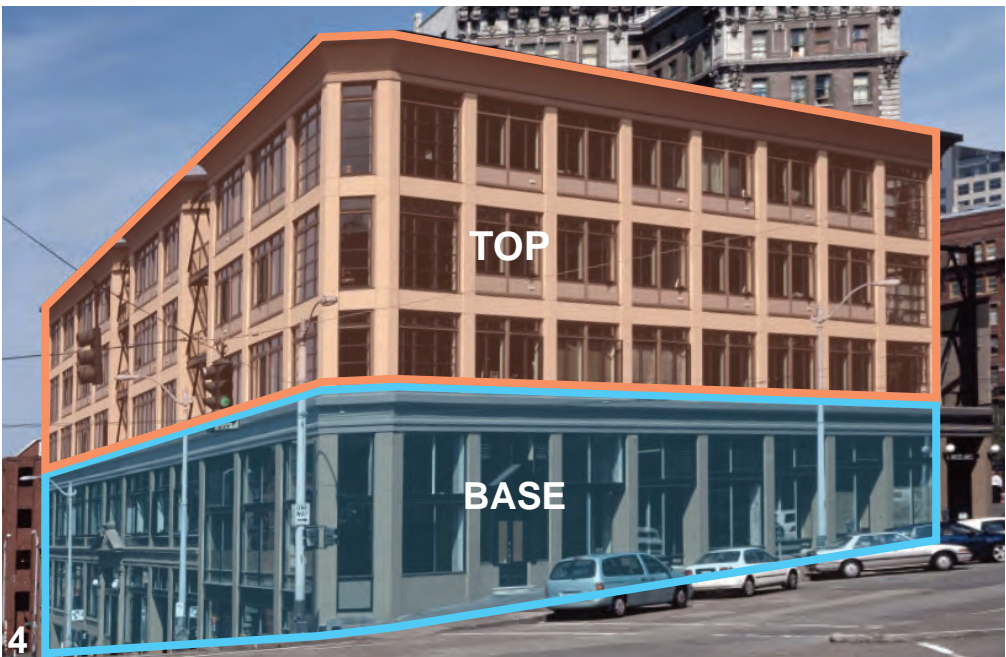
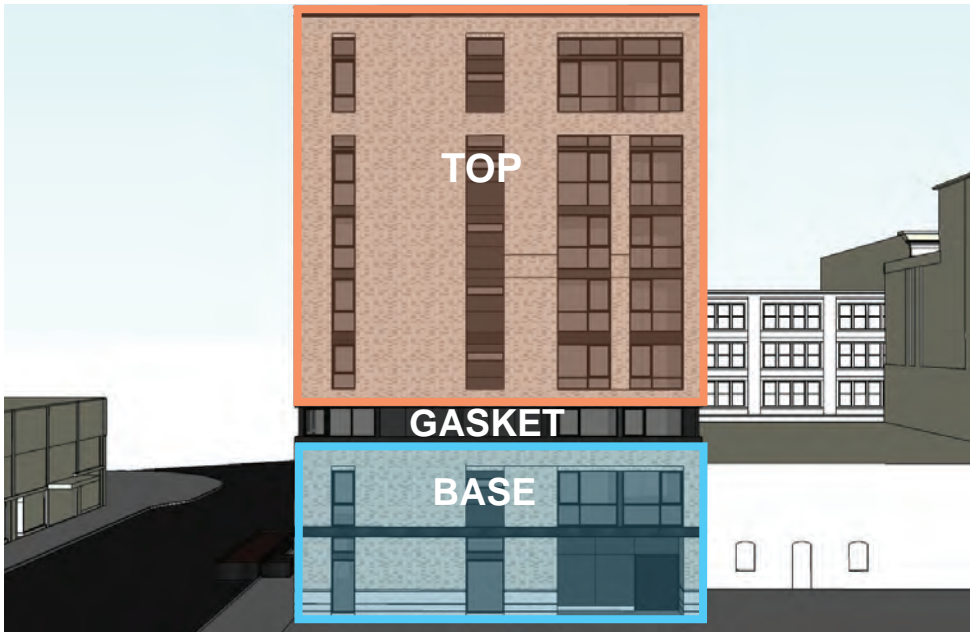
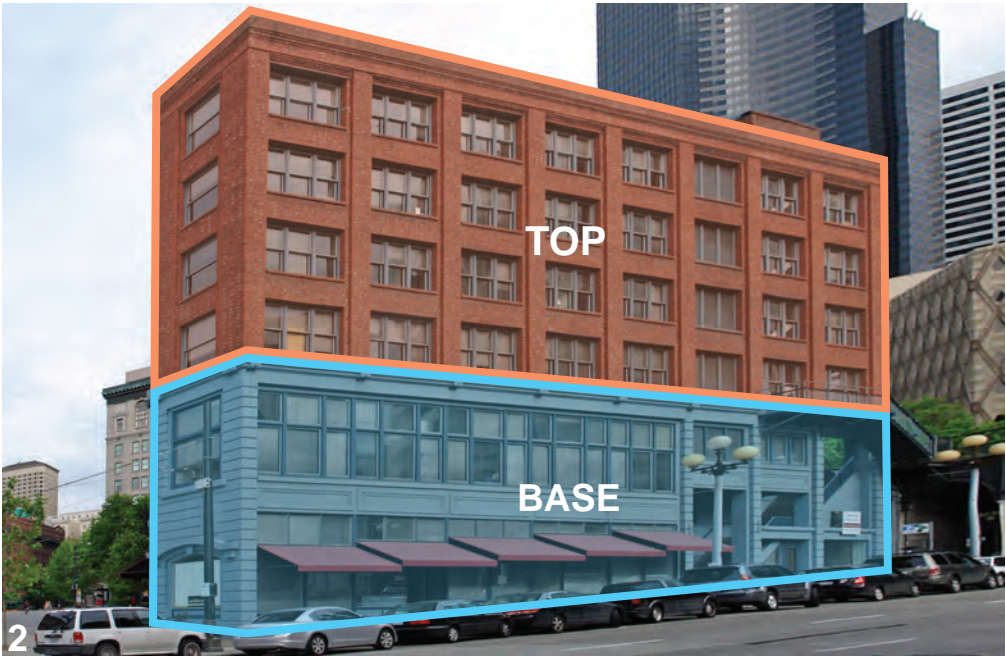
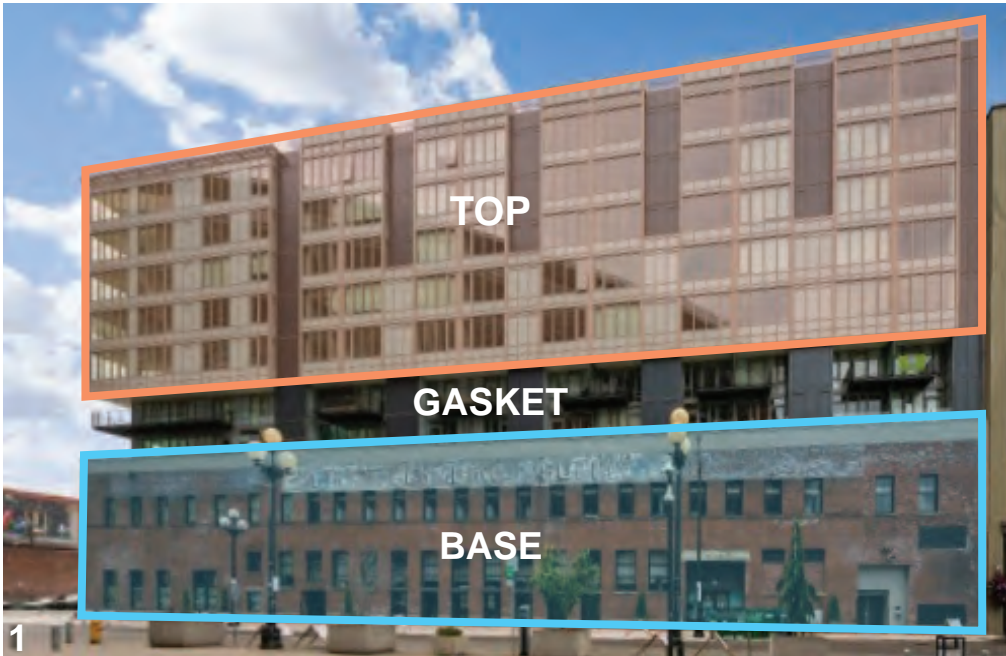
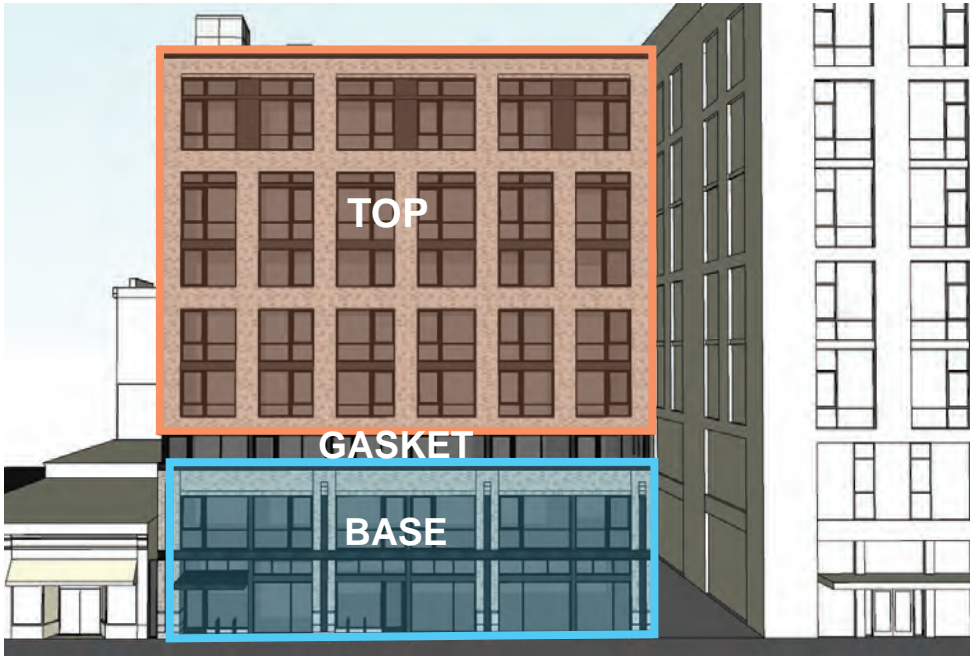
The original structures of the site stood at three stories tall, and the proposed design references this with a three-story base.

### CONTEXT PRECEDENT

Brick facades are a staple characteristic of Pioneer Square. The brick of the neighboring Weyerhaeuser Headquarters, as well as one of the original structures of the site, are referenced in the top portion of the proposed design.



PRECEDENT | PROPORTIONS



**BASE | TOP PROPORTIONS**

Several buildings in Pioneer Square use a base/top facade expression that maintains about a 3:2 ratio. The proposed design follows suit and utilizes a “gasket” to accentuate these proportions.

- BUILDING PRECEDENTS**
- 1. Grid Iron Building
  - 2. Prefontaine Building
  - 3. Interurban Building
  - 4. Tashiro Kaplan Lofts



PRECEDENT | ENTRIES



**COLUMNAR ENTRIES**  
Several iconic buildings employ double columns -formed by pilasters and clear vertical elements- that span the entire facade and create primary entries.

**BUILDING PRECEDENTS**  
1. 165 / 167 Washington St. (original structures on the site)  
2. State Building  
3. Pioneer Building  
4. Cadillac Hotel



BASE PROPORTION STUDY

STUDY 1

- BASE: 1-story, no gasket
- TOP: 6:1 proportion



PROS

- Base proportion relates to scale of east neighbor, McCoy's

CONS

- Base proportion feels squat
- Undefined separation between base and top

STUDY 2

- BASE: 2-story, no gasket
- TOP: 4:1 proportion



PROS

- Two story base proportion feels less squat

CONS

- Base proportion doesn't relate to scale of east (McCoys) or west (Weyerhauser Headquarters) neighbor
- Undefined separation between base and top

STUDY 3

- BASE: 3-story, no gasket
- TOP: 3:2 proportion



PROS

- Base proportion relates to scale of west neighbor building, Weyerhauser
- Base proportion relates to 3-story scale of previous buildings on site, Casino Hotel and Store Building

CONS

- Base proportion doesn't immediately relate to east neighbor, McCoy's
- Undefined separation between base and top

STUDY 4

- BASE: 3-story, gasket, horizontal datum at L1
- TOP: Articulated 2:2 proportion



PROS

- Base proportion relates to scale of west neighbor building, Weyerhauser
- Base proportion relates to 3-story scale of previous Casino Hotel and Store Building
- Gasket creates distinctive base/top and reflects Rule B from Pioneer Square Preservation District rules
- Horizontal datum at L1 creates connection with height of east neighbor, McCoy's

CONS

- Due to high volume at L1 and collection of two stories above, the base and top proportions feel too "equal", when a smaller base and larger upper volume would relate better to the historical precedent

STUDY 5

- BASE: 2-story, gasket
- TOP: Articulated 4:1 proportion



PROS

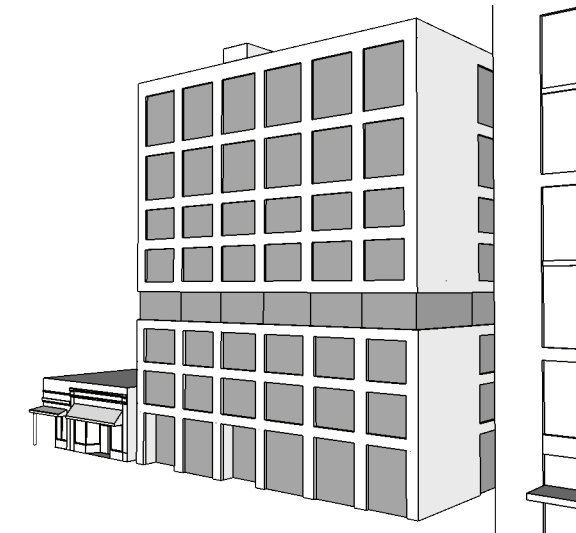
- Two story base expression feels less squat when combined with L3 gasket
- Base proportion relates to 3-story scale of previous Casino Hotel and Store Building
- Horizontal datum at L1 creates connection with height of east neighbor, McCoy's
- Gasket creates distinctive base/top and reflects Rule B from Pioneer Square Preservation District rules
- Distribution of base and top best aligns with the base / top proportions historically found elsewhere in the district, as well as reflecting the same block-scale terracing from the cornice line at the expressed base



PRIMARY FACADE STUDY

STUDY 1

- BASE: expressed grid per ARC comment
- TOP: expressed grid per ARC comment



PROS

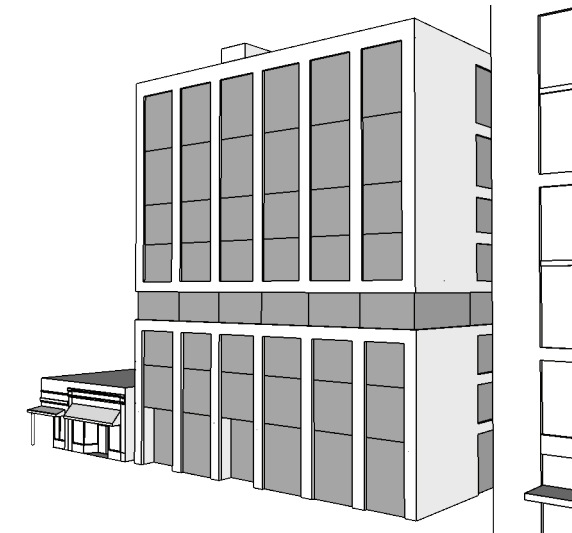
- Facade grid relates to historical Pioneer Square buildings
- Horizontal elements at base relate to east neighbor, McCoy's

CONS

- Facade grid too busy and resembles Weyerhaeuser

STUDY 2

- BASE: emphasized verticality per ARC comment
- TOP: emphasized verticality per ARC comment



PROS

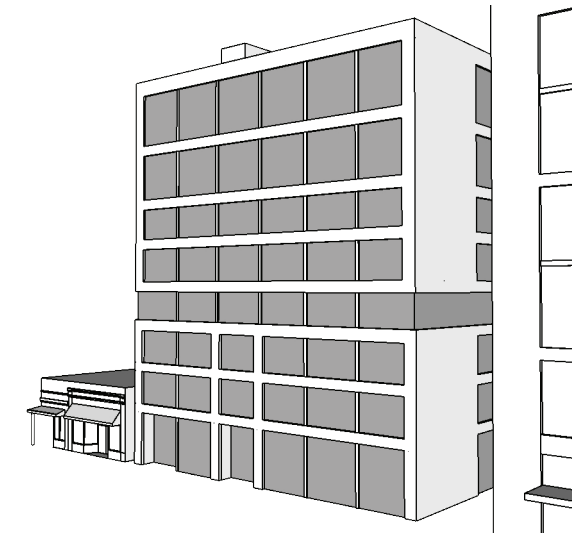
- Verticality relates to west neighbor, Weyerhaeuser Headquarters

CONS

- Primary facade is austere and resembles a corporate "bank building" - doesn't reflect residential use

STUDY 3

- BASE: emphasized horizontality with expressed vertical commercial entry
- TOP: emphasized horizontality with secondary vertical elements



PROS

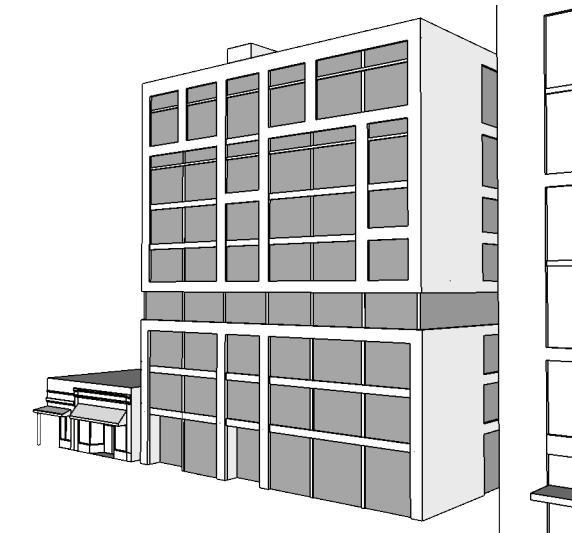
- Expressed commercial entry flanked by vertical elements pays homage to previous buildings on site, Casino Hotel and Store Building
- Horizontal elements at base relate to east neighbor, McCoy's

CONS

- Horizontal facade resembles a suburban office building -doesn't reflect urban residential use

STUDY 4

- BASE: expressed vertical commercial entry with secondary horizontal elements, modern collection of windows bays
- TOP: continuous expressed vertical commercial entry, accented top story windows, dynamic grid



PROS

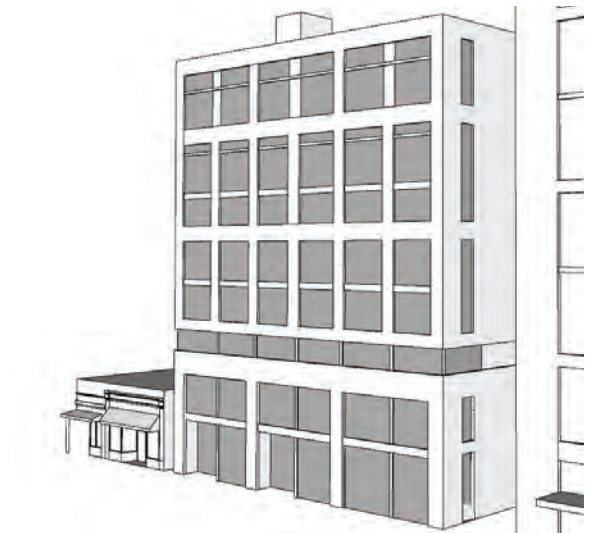
- Dynamic facade is differentiated from the more rigorous adjacent structures to reflect the different (residential) use at the upper stories
- Accented top story relates to historical Pioneer Square buildings
- Expressed commercial entry pays homage to previous buildings on site
- Horizontal elements at base relate to east neighbor, McCoy's

CONS

- The modern dynamic grid is less compatible with the adjacent structures and represents too large of a departure from the rigorous evenly spaced vertical facades of the district

STUDY 5

- BASE: expressed, evenly spaced retail bays defined by vertical pilasters, with strong horizontal element at L1
- TOP: expressed vertical pilasters separating collected windows with secondary 2:2:1 horizontal datums



PROS

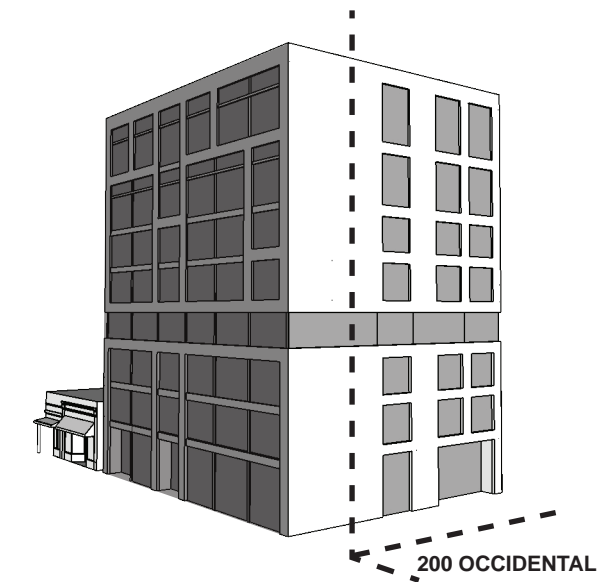
- The regular, evenly spaced vertical bays reflect board guidelines to establish facades that are "divided vertically by pilasters or wide piers which form repetitive window bays" as well as "horizontal divisions which create distinctive base and cap levels"
- Accented top story relates to historical Pioneer Square buildings
- Horizontal elements at base relate to east neighbor, McCoy's



ALLEY FACADE STUDY

STUDY 1

- Small windows per ARC comment
- Expressed grid



PROS

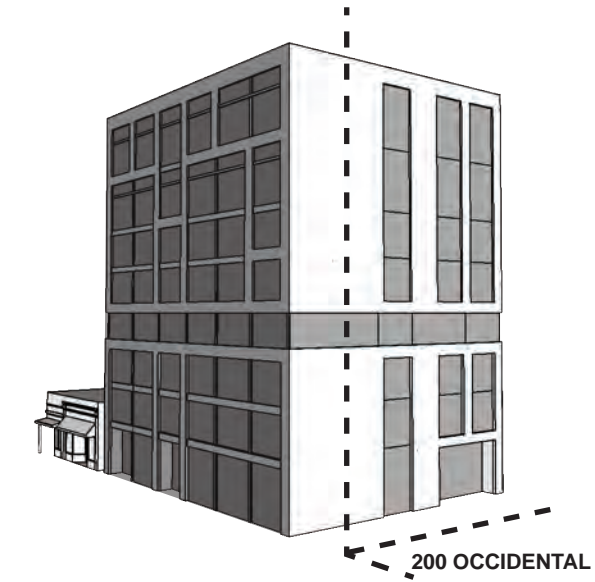
- Less glazing, smaller windows per ARC comment
- Reflects ARC comment to differentiate from primary facade

CONS

- Windows are too arhythmic and busy

STUDY 2

- Emphasized verticality through window collection



PROS

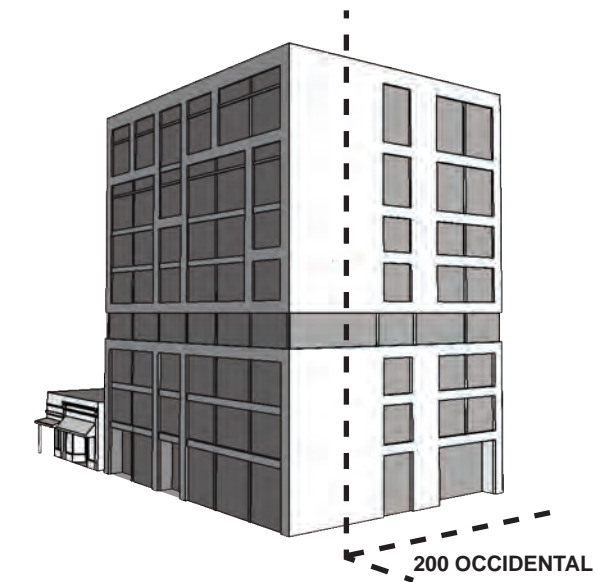
- Verticality relates to west neighbor, Weyerhaeuser Headquarters
- Less glazing per ARC comment
- Reflects ARC comment to differentiate from primary facade

CONS

- Too closely resembles Weyerhaeuser

STUDY 3

- Emphasized horizontality through window collection



PROS

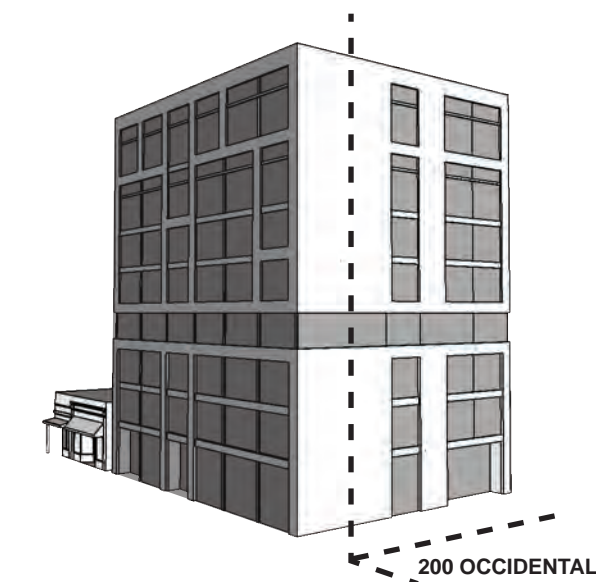
- Less glazing, smaller windows per ARC comment
- Reflects ARC comment to differentiate from primary facade

CONS

- Overly differentiated from primary facade
- Horizontal openings not consistent with existing context or primary facade

STUDY 4

- Modern collection of windows
- Accented top story windows



PROS

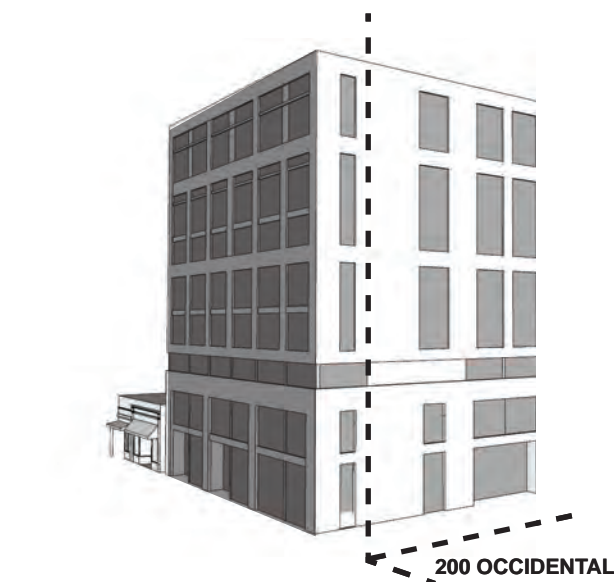
- Accented top story relates to historical Pioneer Square buildings
- Verticality relates to west neighbor, Weyerhaeuser Headquarters
- Less glazing, smaller windows per ARC comment
- Reflects ARC comment to differentiate from primary facade

CONS

- Too closely resembles Weyerhaeuser

STUDY 5

- Small window bay at alley corner
- Modern collection of windows
- Accented top story windows



PROS

- Additional window bays at corner “fold” into the alley, relating to Pioneer Square patterns and trends
- Accented top story relates to historical Pioneer Square buildings
- Verticality relates to west neighbor, Weyerhaeuser Headquarters
- Less glazing, smaller windows per ARC comment
- Reflects ARC comment to differentiate from primary facade



BASE MATERIAL STUDY

STUDY 1

- Dominant dark metal
- Prominent vertical elements
- Light metal secondary vertical and horizontal elements



PROS

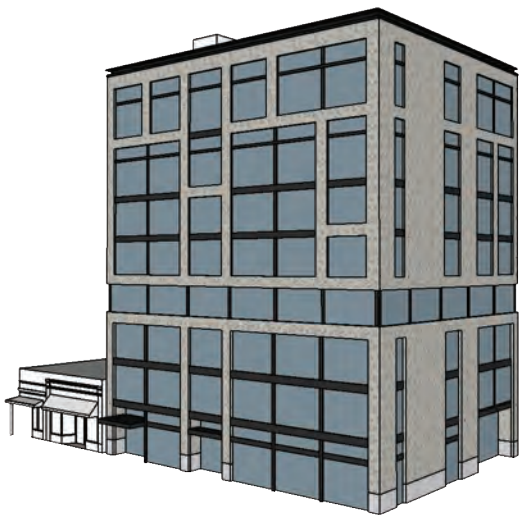
- Base is distinguished from top per ARC base/top composition preference

CONS

- Base is too dark and heavy per ARC comment
- Masonry at base is preferred, per ARC comment

STUDY 2

- Dominant light brick
- Prominent vertical elements
- Dark metal secondary vertical and horizontal elements



PROS

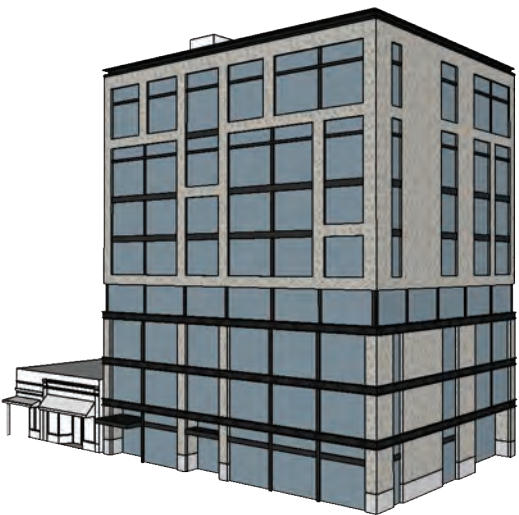
- Masonry is primary base material per ARC comment
- Base is vertically oriented per ARC comment

CONS

- Base isn't distinguished from top -becomes unified composition, ARC prefers base/top composition

STUDY 3

- Mixed steel and light brick
- Prominent horizontal elements
- Continuous steel channels at levels 1-3
- Dark metal secondary vertical and horizontal elements



PROS

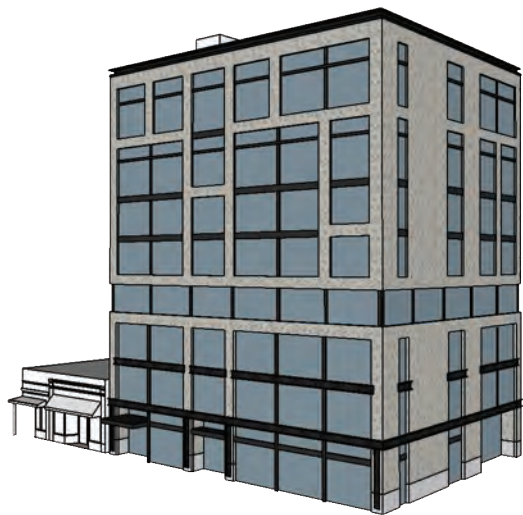
- Masonry is primary base material per ARC comment
- Base is distinguished from top per ARC base/top composition preference

CONS

- Base is too horizontally oriented per ARC comment

STUDY 4

- Dominant light brick
- Prominent vertical elements
- Prominent horizontal elements
- Continuous steel channel at level 1
- Segmented steel channel at level 2
- Vertical steel channels at level 1
- Dark metal secondary vertical and horizontal elements

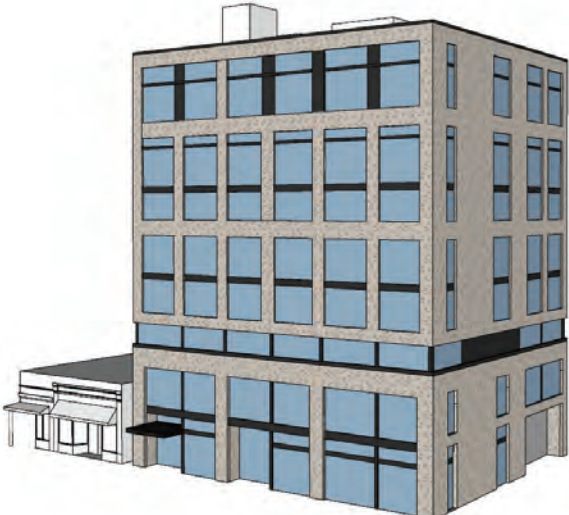


PROS

- Continuous steel channel at L1 creates elevation datum with east neighbor, McCoy's
- Accentuated steel detail at storefront level
- Alley facade is distinguished from primary per ARC comment
- Masonry is primary base material per ARC comments
- Base is vertically oriented per ARC comments
- Base is distinguished from top per ARC base/top composition preference

STUDY 5

- Dominant light brick
- Prominent vertical pilasters
- Continuous steel channel at level 1
- Vertical steel channels at level 1 & 2
- Dark metal secondary vertical and horizontal elements



PROS

- Continuous steel channel at L1 creates elevation datum with east neighbor, McCoy's
- Accentuated steel detail is consistent at throughout the base, extending to both L1 & L2
- Masonry is primary base material per ARC comments
- Base is vertically oriented per ARC comments
- Base is distinguished from top through additional detailing and design, but consistent in materiality and overall composition, per ARC comments



FACADE STUDY

STUDY 1

- Rigorous grid



PROS

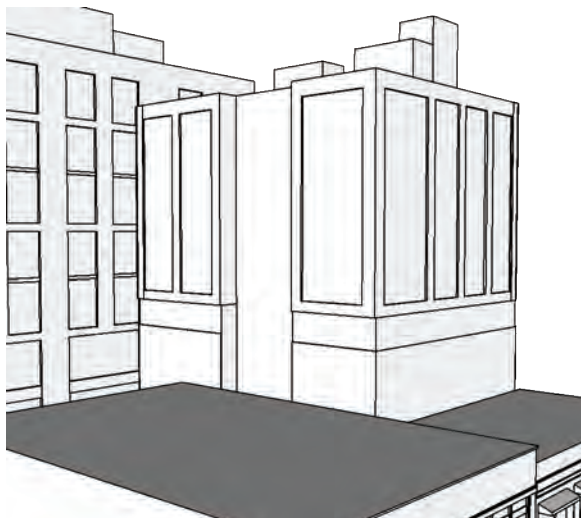
- Grid composition is differentiated from primary facade per ARC comment

CONS

- Grid creates many small panels, feels busy and visually cluttered
- Multiple small panels is not as conducive to art / mural installation as larger unified compositions

STUDY 2

- Vertical emphasis



PROS

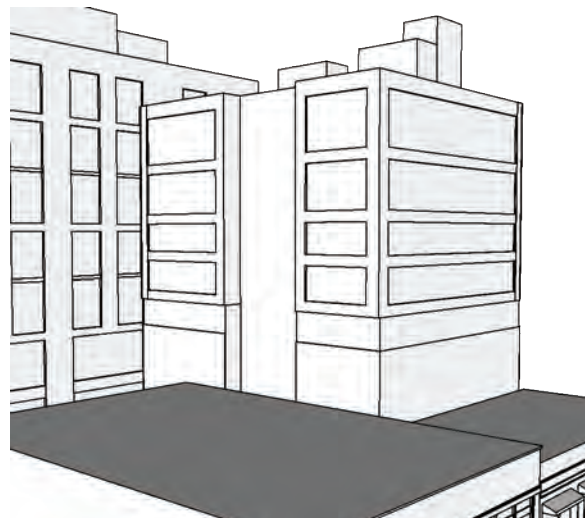
- Visually subordinate to neighboring Lucknow Building -reflects Item5 of 'New Construction' from the National Park Service
- Large unified panels are ideal for mural art
- Coordinates with elevator penthouse to create complete composition
- Panel frame mitigates scale of facades and provides visual interest
- Grid composition is differentiated from primary facade per ARC comment

CONS

- Unified verticality creates a giant blank wall, feels austere

STUDY 3

- Horizontal emphasis



PROS

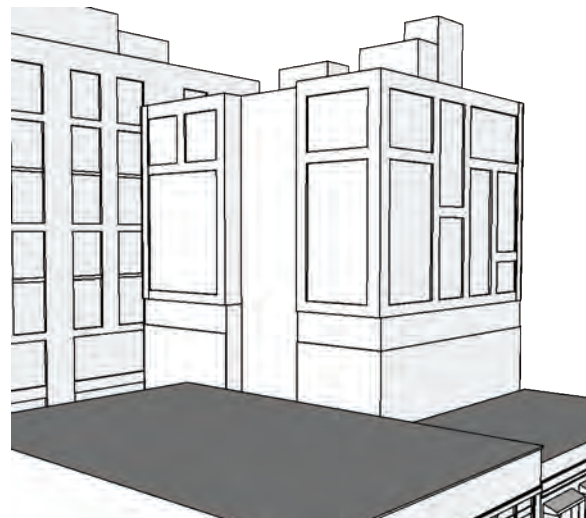
- Visually subordinate to neighboring Lucknow Building -reflects Item 5 of 'New Construction' from the National Park Service
- Large unified panels are ideal for mural art
- Panel frame mitigates scale of facades and provides visual interest
- Grid composition is differentiated from primary facade per ARC comment

CONS

- Unified horizontality also creates a giant wall

STUDY 4

- Dynamic grid



PROS

- Dynamic grid is unique
- Panels creates contiguous area for mural art
- Coordinates with elevator penthouse to create complete composition

CONS

- Not differentiated from primary facade per ARC comment
- Dynamic grid feels visually cluttered per ARC comment

STUDY 5

- Expressed grid with vertical emphasis



PROS

- Grid composition is calm and coherent which best reflects ARC comment
- Grid composition reflects secondary alley facade of preferred scheme
- Panels creates contiguous area for mural art
- Visually subordinate to neighboring Lucknow Building -reflects Item5 of 'New Construction' from the National Park Service
- Panel frame mitigates scale of facades and provides visual interest
- Grid composition is differentiated from, but compatible with primary facade per ARC comment



EVOLUTION - PRIMARY & ALLEY FACADES

<p><b>Standard 9</b> - Secretary of the Interior Standards for Rehabilitation</p> <p><i>The new work shall be <b>differentiated from the old</b> and shall be <b>compatible</b> with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p>	<p><b>Item 5</b> - ‘New Construction within the Boundaries of Historic Properties,’ National Park Service</p> <p><i>New construction should also be <b>distinct from the old</b> and <b>must not attempt to replicate historic buildings</b> elsewhere on site and to avoid creating a false sense of historic development.</i></p>	<p><b>Rule B</b> - Rules for the Pioneer Square Preservation District</p> <p><i>Building design is generally typified by <b>horizontal divisions</b> which create <b>distinctive base and cap</b> levels.</i></p>
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2/28/2020 Proposed Design

ARC COMMENTS

- Concern about the compatibility with historical expressions and facade articulation, show how proportions relate to context
- Alley facade should be differentiated from primary facade, with less glazing and smaller windows
- Contrast between base and top materiality is too high, consider using brick with steel elements at the base to unify facade



9/10/2020 PROPOSED DESIGN

ARC COMMENTS

- Though there is precedent for the individual proportions, the board felt strongly that a more repetitive, vertically divided facade would better align with the district’s guidelines and the historical context
- There was appreciation for the changes made to the alley facade to make it more distinct from the primary facade expression
- Base materiality is updated for more consistent expression, and vertically orientated w/ additional articulation at the storefront level
- Comment that the base felt too tall in relation to context and the overall building proportions



CURRENT DESIGN

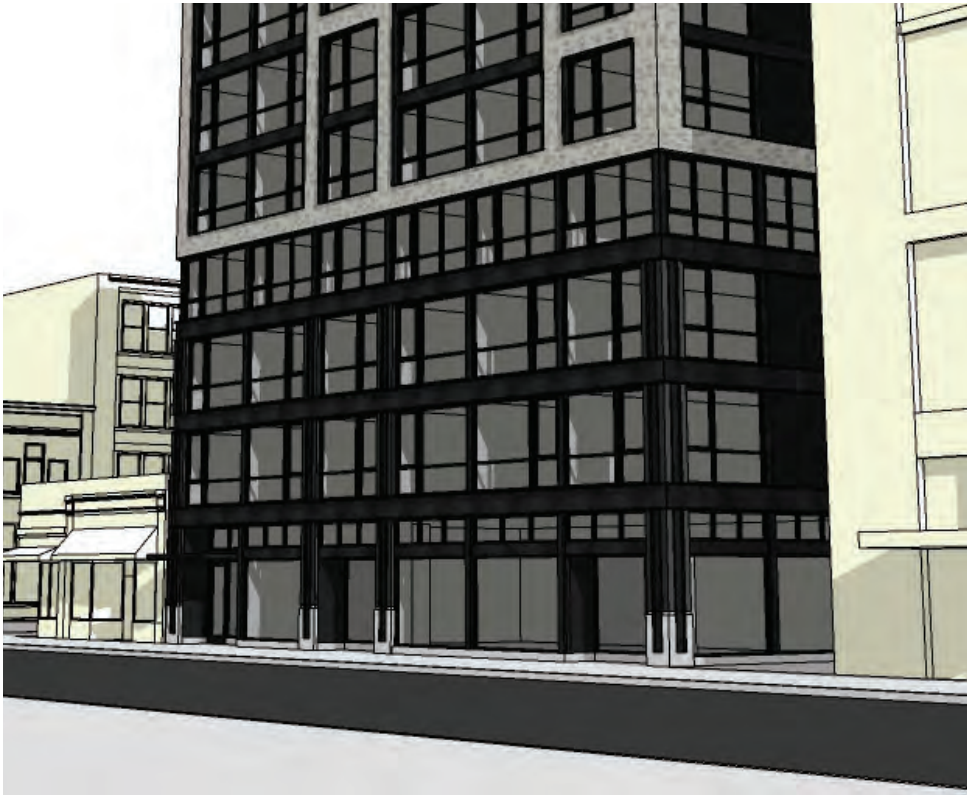
DESIGN UPDATES

- Primary facade modified to be “divided vertically by pilasters or wide piers which form repetitive window bays”, per ARC comments and district guidelines)
- The base was modified to be 1-story lower, and the gasket or reduced in height to improve the building’s composition and better relate to the datums on the adjacent structures.



EVOLUTION - BASE MATERIALS

<p><b>Standard 9</b> - Secretary of the Interior Standards for Rehabilitation</p> <p><i>The new work shall be <b>differentiated from the old</b> and shall be <b>compatible</b> with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p>	<p><b>Item 5</b> - ‘New Construction within the Boundaries of Historic Properties,’ National Park Service</p> <p><i>New construction should also be <b>distinct from the old</b> and <b>must not attempt to replicate historic buildings</b> elsewhere on site and to avoid creating a false sense of historic development.</i></p>	<p><b>Rule B</b> - Rules for the Pioneer Square Preservation District</p> <p><i>Building design is generally typified by <b>horizontal divisions</b> which create <b>distinctive base and cap</b> levels.</i></p>
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2/28/2020 Proposed Design

ARC COMMENTS

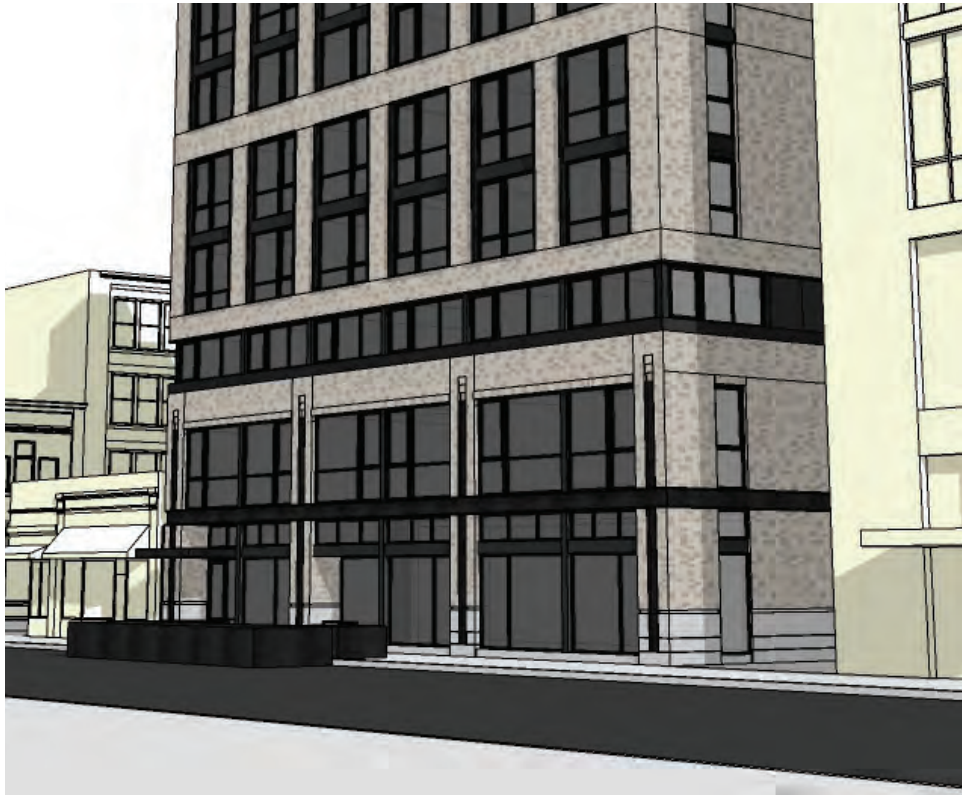
- Contrast between base and top materiality is too high, consider using brick with steel elements at the base to unify facade
- Too much steel / metal is consistent with historical context
- Preference for vertically orientated base expression with secondary horizontal elements, as opposed to primarily horizontal orientation
- Gasket and base materiality are too similar, gasket should be more articulated from base



9/10/2020 PROPOSED DESIGN

ARC COMMENTS

- Base materiality is updated for more consistent expression, and vertically orientated w/ additional articulation at the storefront level
- Comment that the base felt too tall in relation to context and the overall building proportions and improve relationship with Weyhauser building to the west.
- Continuous steel channel creates elevation datum with east neighbor, McCoy’s - reinforces street level, single story “base” and context with neighboring building



CURRENT DESIGN

DESIGN UPDATES

- The base was modified to be 1-story lower, and the gasket reduced in height to improve the building’s composition and better relate to the datums on the adjacent structures
- Vertical pilaster rhythm updated to align with repetitive vertical window expression of primary facade above
- Masonry base material preferred by board maintained
- Continuous steel channel at L1, vertical steel details, and transom windows to strengthen pedestrian realm are retained



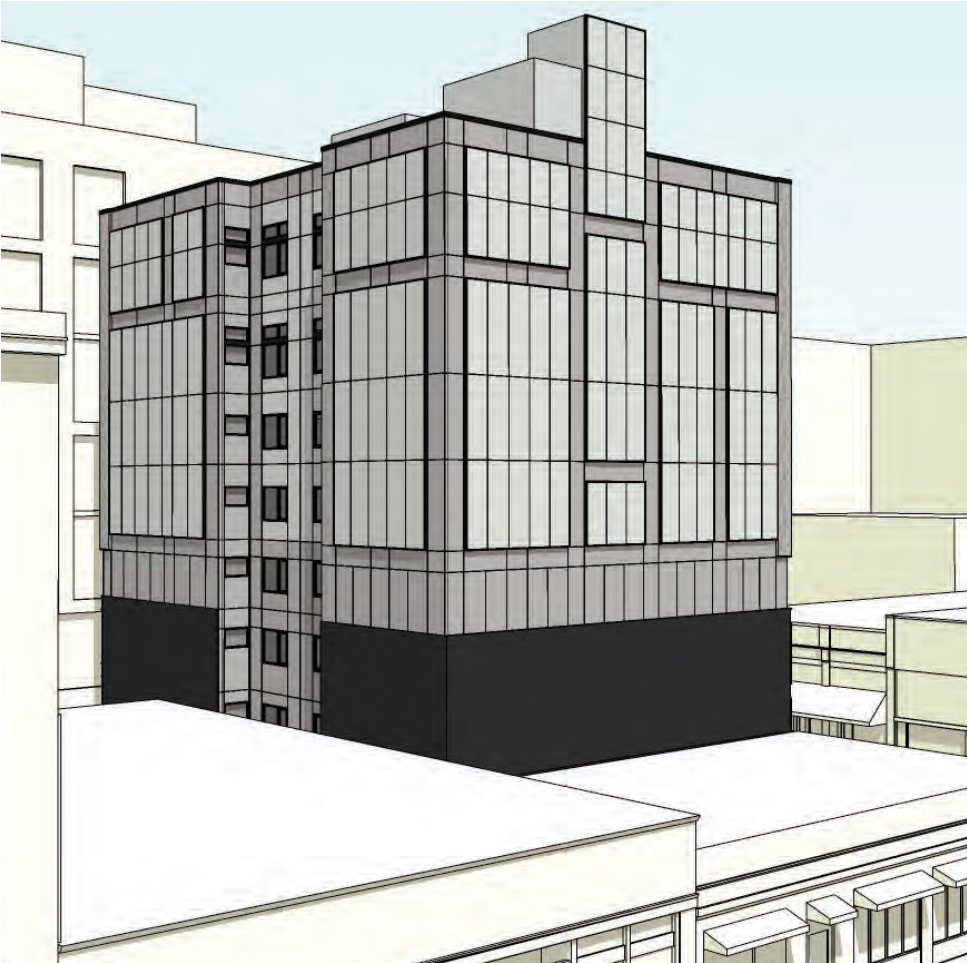
ELEVATION STUDY





EVOLUTION - EAST & SOUTH FACADES

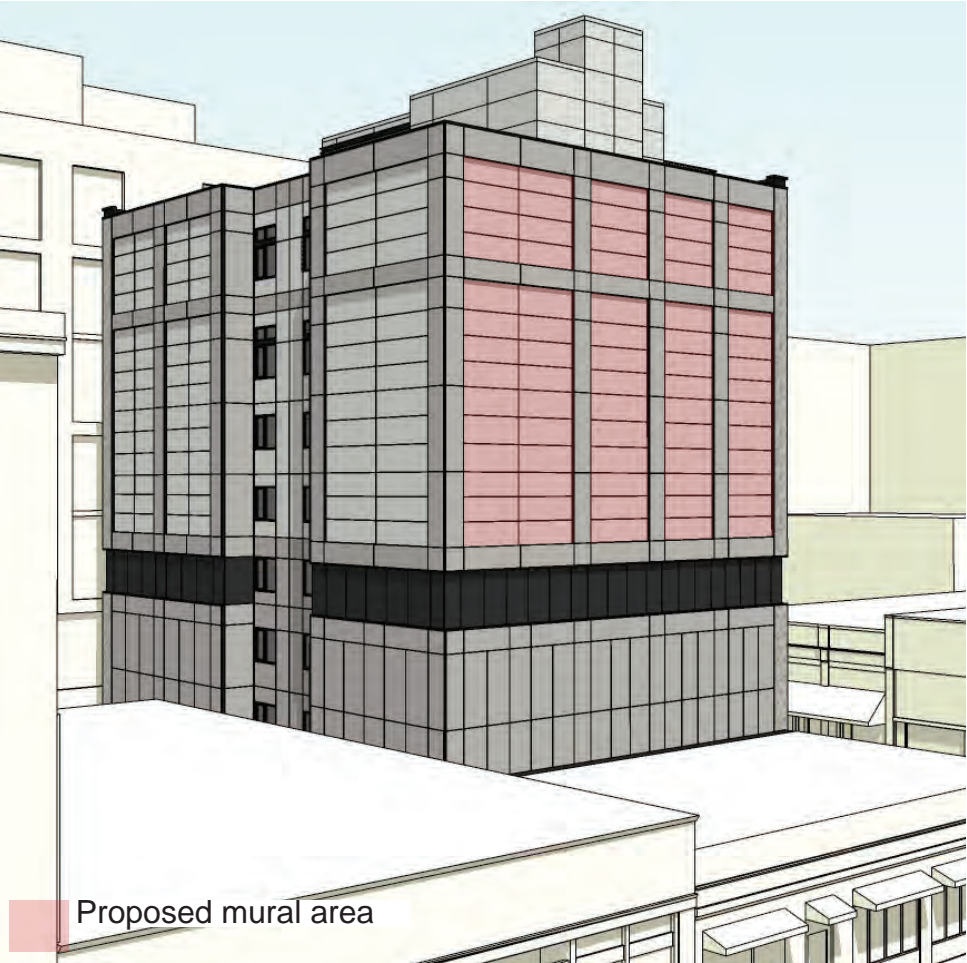
<p><b>Standard 9</b> - Secretary of the Interior Standards for Rehabilitation</p> <p><i>The new work shall be <b>differentiated from the old</b> and shall be <b>compatible</b> with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.</i></p>	<p><b>Item 5</b> - ‘New Construction within the Boundaries of Historic Properties,’ National Park Service</p> <p><i>New construction should also be <b>distinct from the old</b> and <b>must not attempt to replicate historic buildings</b> elsewhere on site and to avoid creating a false sense of historic development.</i></p>	<p><b>Rule B</b> - Rules for the Pioneer Square Preservation District</p> <p><i>Building design is generally typified by <b>horizontal divisions</b> which create <b>distinctive base and cap</b> levels.</i></p>
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2/28/2020 Proposed Design

ARC COMMENTS

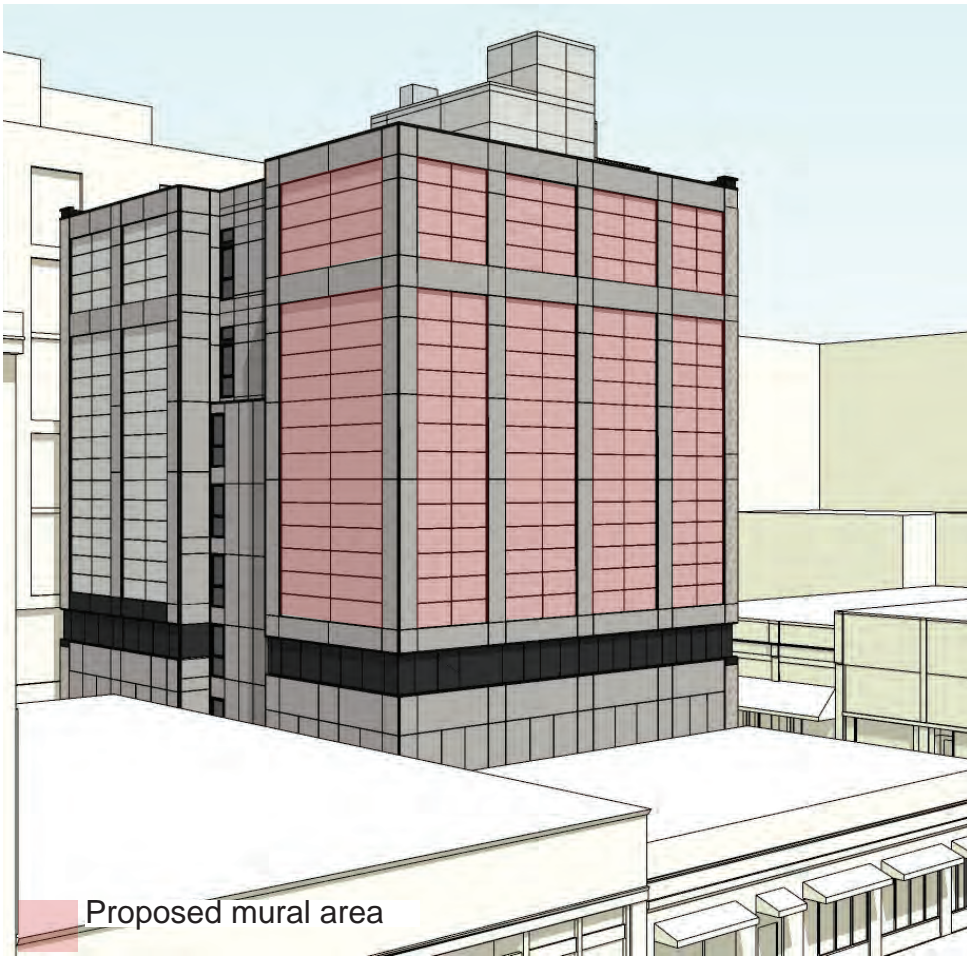
- Prefer composition be differentiated from primary facade
- Grid composition should be calm and coherent
- Concern about materiality



9/10/2020 PROPOSED DESIGN

ARC COMMENTS

- Appreciates change to more “calm” facade organization
- Incorporation of mural into design is acceptable solution to mitigate blank facade impact w/ proposed materials
- Concern about “blank” south facade, consider wrapping the mural to incorporate the east portion of south facade



CURRENT DESIGN

DESIGN UPDATES

- Mural extents extended to wrap east volume of south facade (73% increase in overall mural area from previous design)
- Base / Top expression adjusted to match revised primary facade



AERIAL / STREET LEVEL VIEWS



SOUTH - EAST FACADES

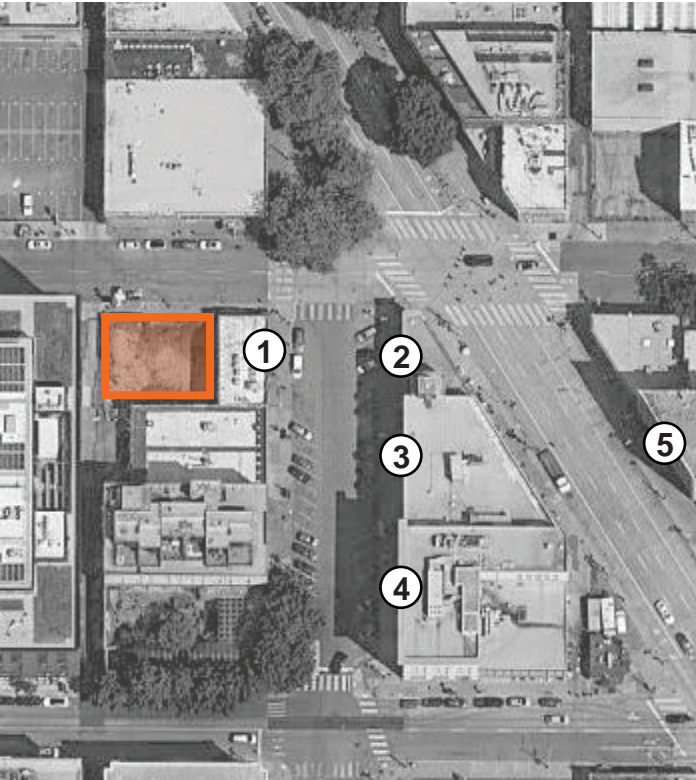


EAST FACADE


NOTE: Artwork shown is representative only - mural design to be determined with public input and presented to the pioneer square preservation board as a separate certificate of approval.



BRICK COLOR



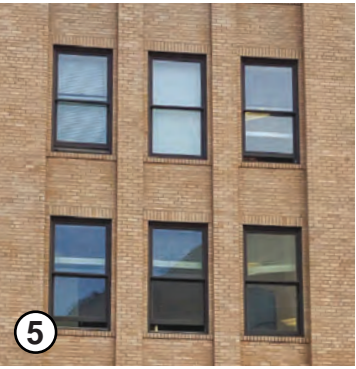
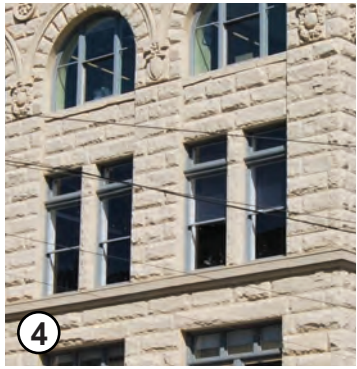
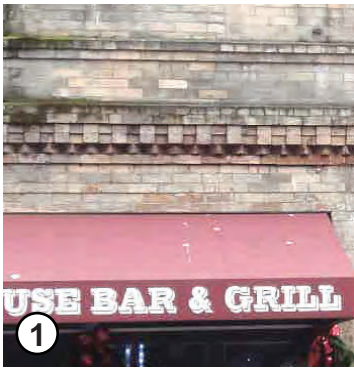
**LEGEND**

# IMAGE LOCATION     SITE LOCATION

**LIGHT BRICK PRECEDENTS**

- 1. McCoy's Firehouse Bar & Grill
- 2. Seattle Impact Hall
- 3. Masin Building
- 4. Furuya Building
- 5. Union Gospel Mission

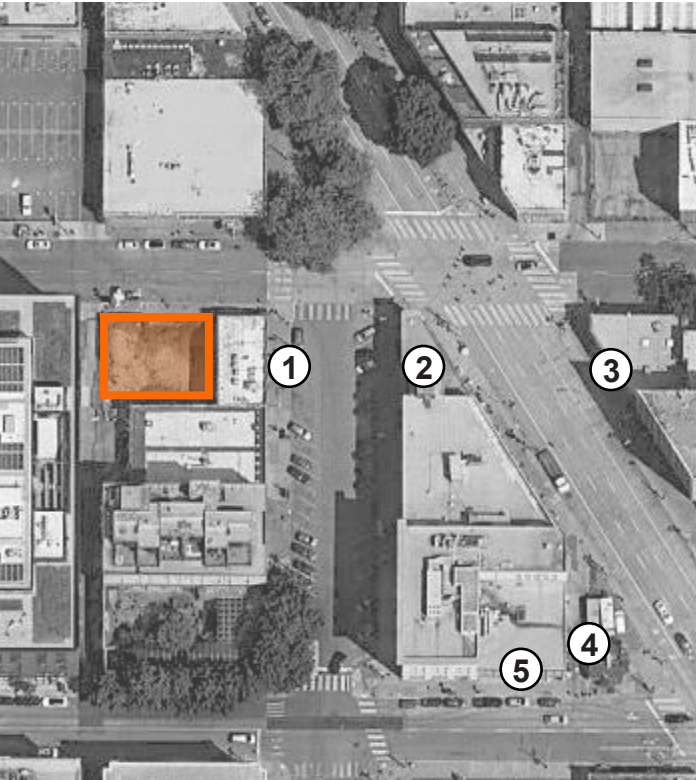
Light brick mixes are dominant in the immediate eastern context of the site, and this is our preferred brick color. As the light mix weathers, it will further blend into the 2nd Ave Ext S block, while still providing differentiation from 200 Occidental.




LIGHT MIX



BRICK COLOR



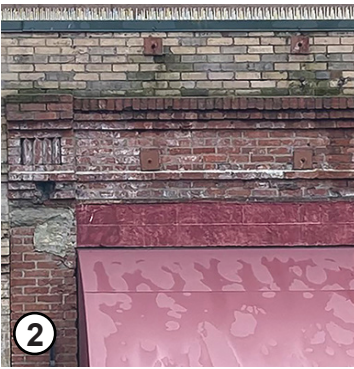
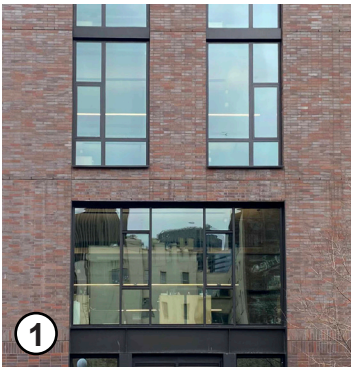
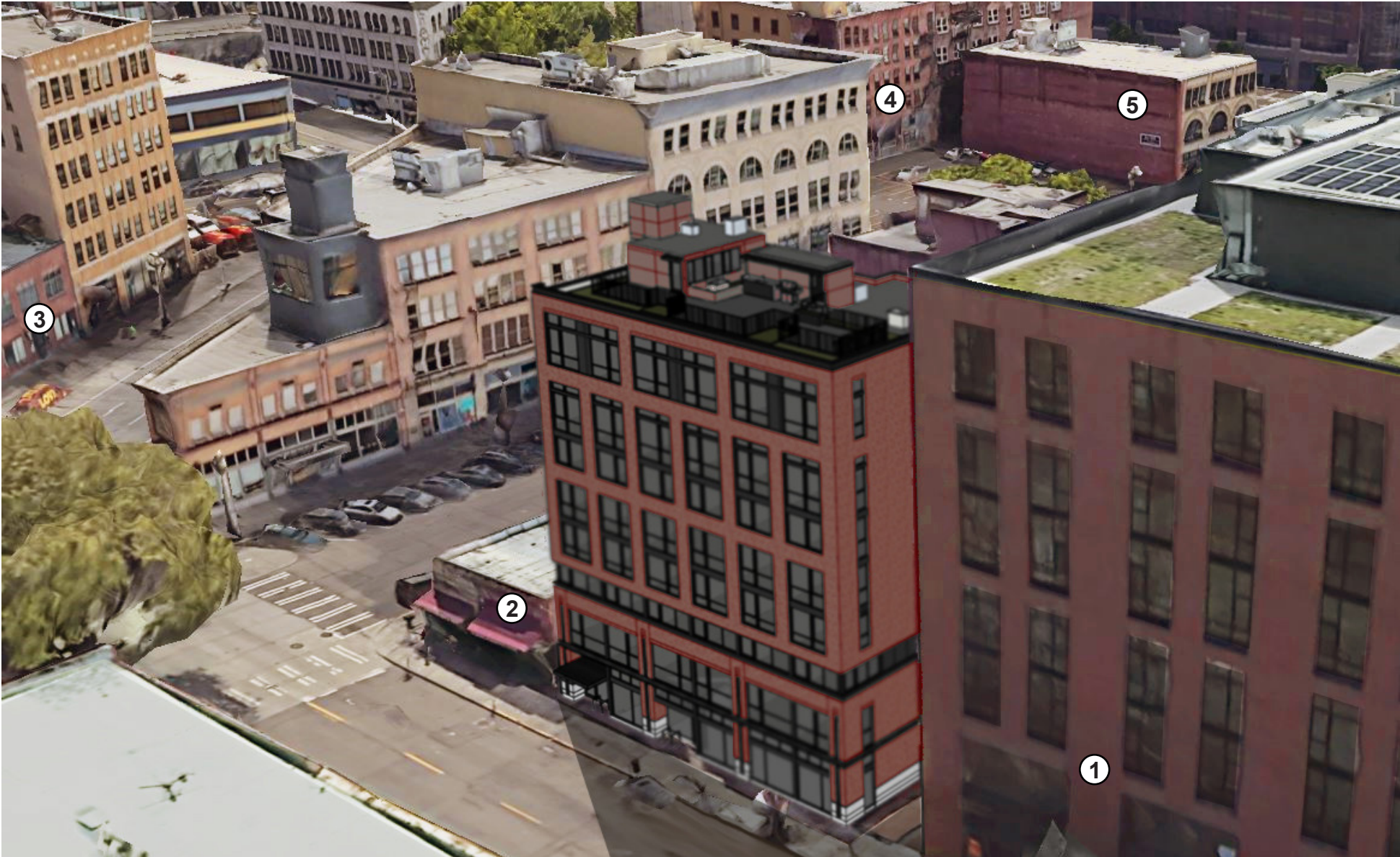
**LEGEND**

# IMAGE LOCATION     SITE LOCATION

**RED BRICK PRECEDENTS**

- 1. 200 Occidental Ave S
- 2. McCoy's Firehouse Bar & Grill
- 3. 318 2nd Ave Ext S
- 4. 307 3rd Ave S
- 5. Moses Building

Bricks in red or burgundy tones are well represented throughout the district and near the site, most notably on the 200 Occidental building. While it is contextually appropriate there is concern in creating too similar of a single expression along S Washington Street.



RED MIX



BRICK COLOR



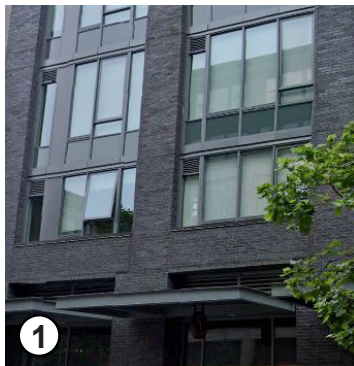
LEGEND

# IMAGE LOCATION     SITE LOCATION

DARK BRICK PRECEDENTS

1. NOLO Apartments

Dark brick, while handsome in it's depth of color and not entirely out of context with the many medium and darker stone tones and painted wood colors, is not a common material within the district. Nolo apartments near the stadiums uses the brick prominently, but it's overall frequency in the district is rare and it does not appear on any of the structures surrounding the site.



DARK MIX







BRICK COLOR



**LEGEND**

#

IMAGE LOCATION

SITE LOCATION

**LIGHT BRICK PRECEDENTS**

1. McCoy's Firehouse Bar

7. City Loan

2. The Lucknow

8. Buttnick Building

3. Seattle Fire Headquarters

9. Delmar Building

4. State Building

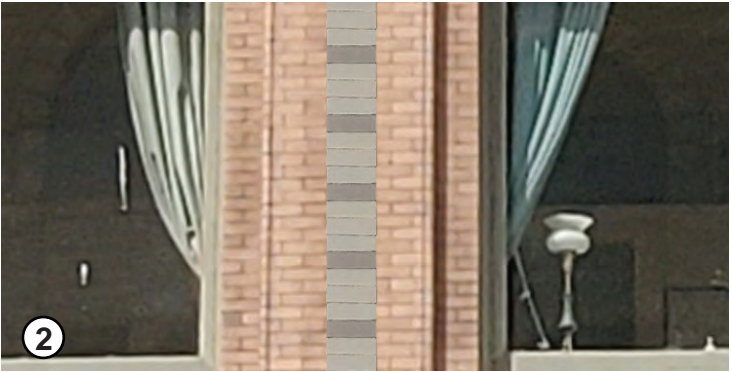
10. 118 S Washington

5. Union Trust Building

11. 124 S Washington

6. The Grand Central

12. Occidental Square  
(Walking Surface)





BRICK COLOR



**LEGEND**

#

IMAGE LOCATION

SITE LOCATION

**LIGHT BRICK PRECEDENTS**

13. Interurban Building

19. 220 2nd Ave S

14. 172 S Washington

20. 301 2nd Ave Ext S

15. Monterey Lofts

21. Pacific Commercial

16. 210 S Washington St

22. 307 3rd Ave S

17. 318 2nd Ave Ext S

23. Moses Building

18. Union Gospel Mission



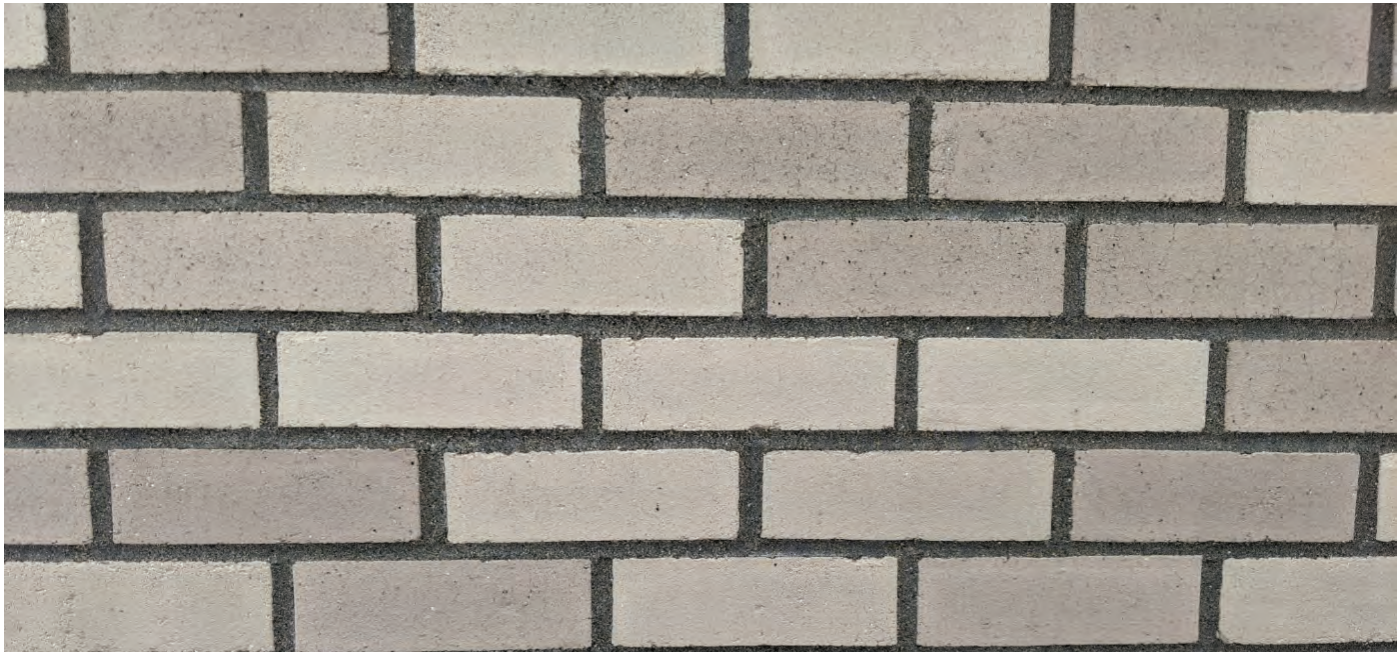


BRICK COLOR



PROPOSED BRICK BLEND

These photographs show a recently completed project in the First Hill neighborhood that uses the same brick blend suggested for the proposed project. The warm tones of the brick, and the subtle variation and color provide a neutral but timeless expression that is compatible with other structures in the immediate vicinity, but will provide contrast with the deep red brick of the similar scale and proportioned 200 Occidental building.

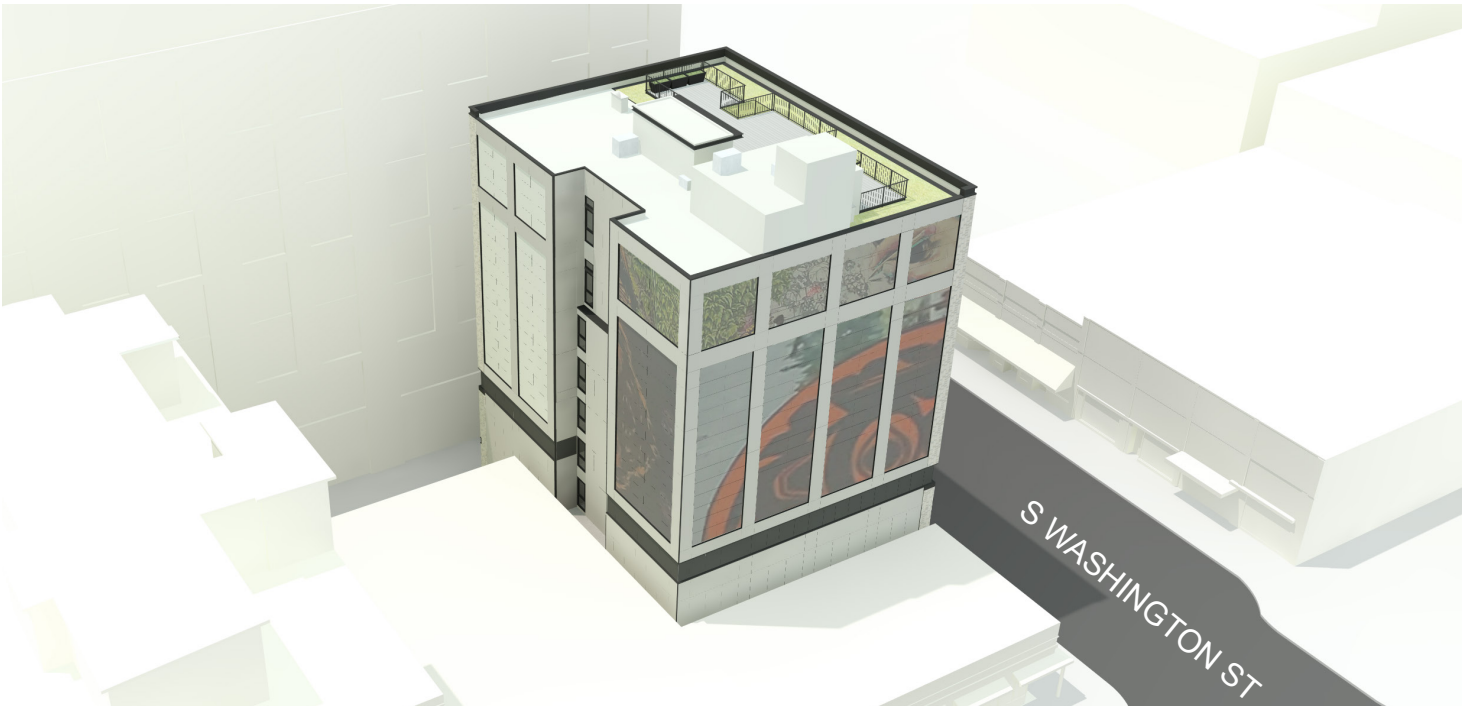




AERIAL VIEWS



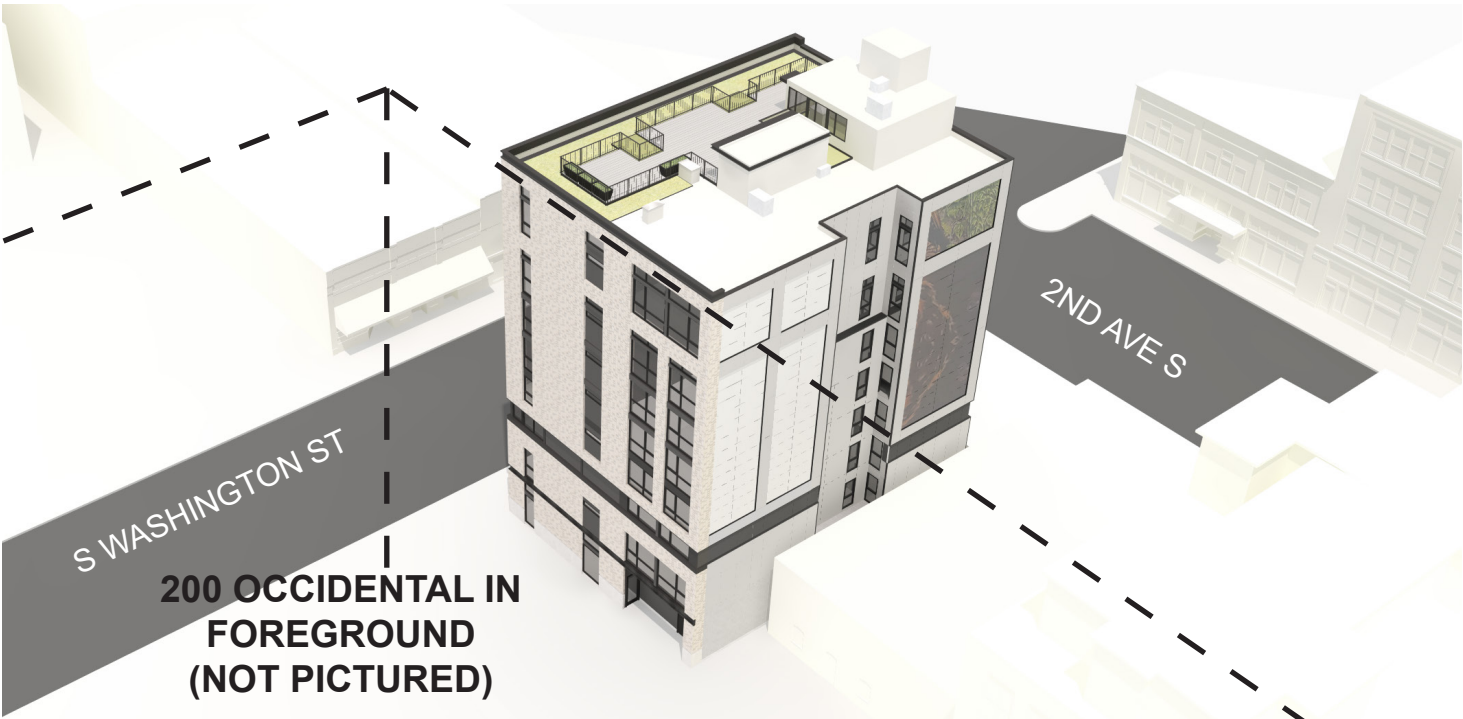
NORTH & WEST FACADES



SOUTH & EAST FACADES



NORTH & EAST FACADES



SOUTH & WEST FACADES

NOTE: Artwork shown is representative only - mural design to be determined with public input and presented to the pioneer square preservation board as a separate certificate of approval.

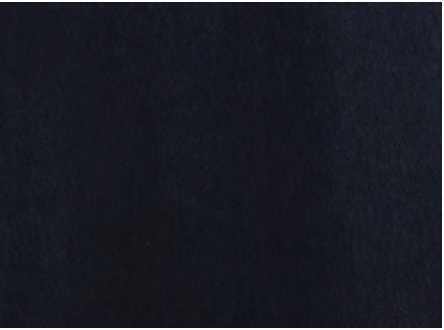


NORTH ELEVATION

MATERIALS



1



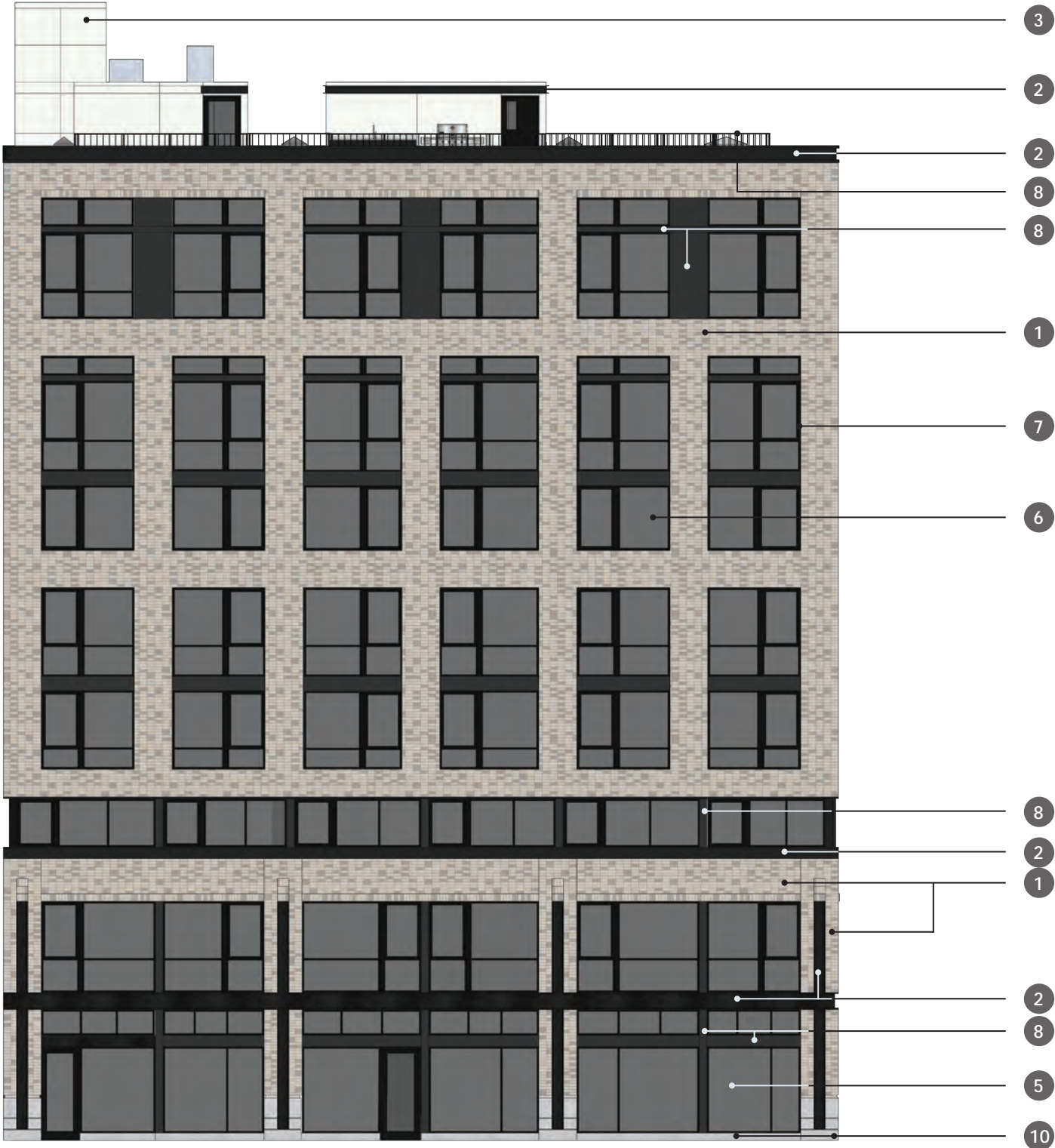
2



5

KEY

- 1 BRICK | CUSTOM PEWTER / ASPEN BLEND
- 2 BLACKENED STEEL
- 3 FIBER CEMENT PANEL SIDING | LIGHT GRAY
- 4 FIBER CEMENT PANEL SIDING | MEDIUM GRAY
- 5 ALUMINUM STOREFRONT | BLACK
- 6 VINYL WINDOWS | BLACK
- 7 METAL TRIM / FLASHING | BLACK
- 8 METAL ACCENT | BLACK
- 9 FIBER CEMENT PANEL SIDING | DARK GRAY
- 10 CONCRETE - CAST IN PLACE | NATURAL
- 11 CONCRETE - CMU | MATCH ADJACENT



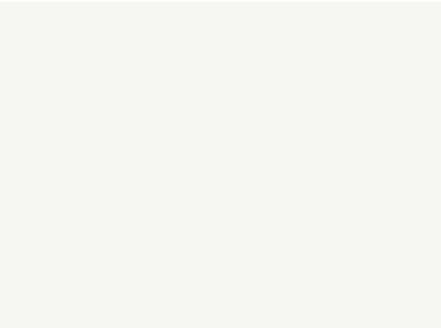


EAST ELEVATION

MATERIALS



1



3



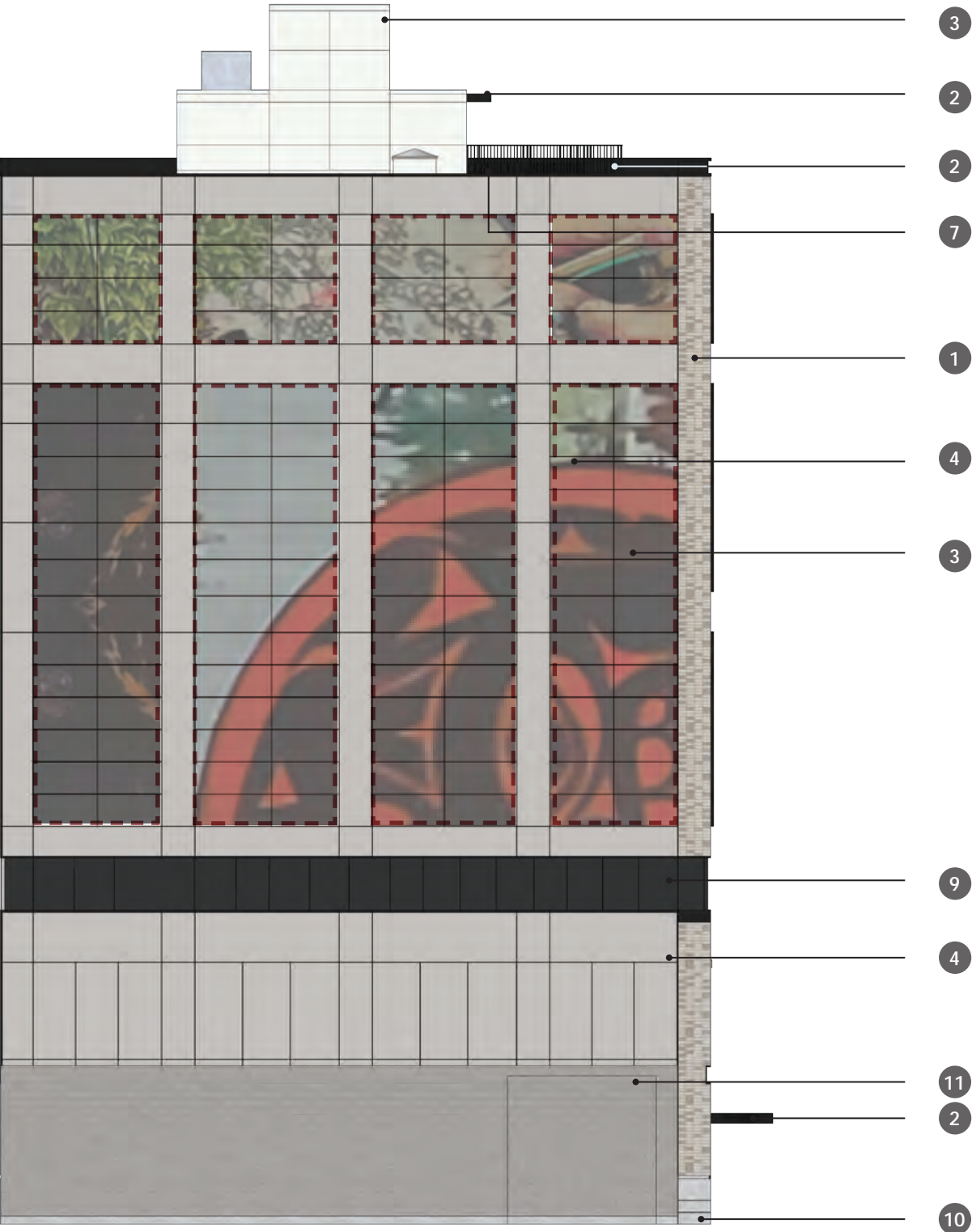
4

KEY

- 1 BRICK | CUSTOM PEWTER / ASPEN BLEND
- 2 BLACKENED STEEL
- 3 FIBER CEMENT PANEL SIDING | LIGHT GRAY
- 4 FIBER CEMENT PANEL SIDING | MEDIUM GRAY
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- 9 FIBER CEMENT PANEL SIDING | DARK GRAY
- 10 CONCRETE - CAST IN PLACE | NATURAL
- 11 CONCRETE - CMU | MATCH ADJACENT

 PROPOSED ARTWORK / MURAL LOCATION

NOTE: Artwork shown is representative only - mural design to be determined with public input and presented to the pioneer square preservation board as a separate certificate of approval.





WEST ELEVATION

MATERIALS



1



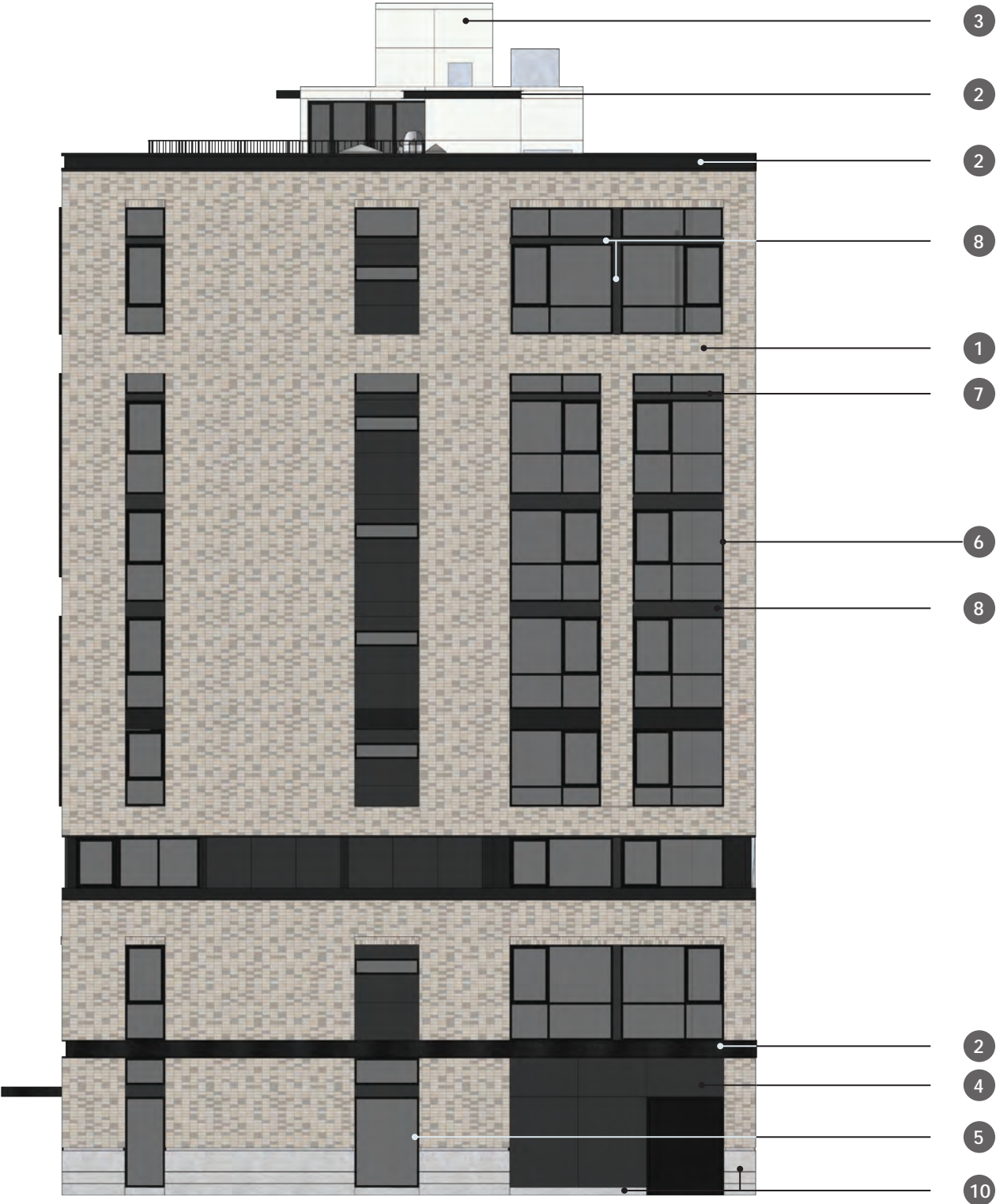
2



5

KEY

- 1 BRICK | CUSTOM PEWTER / ASPEN BLEND
- 2 BLACKENED STEEL
- 3 FIBER CEMENT PANEL SIDING | LIGHT GRAY
- 4 FIBER CEMENT PANEL SIDING | MEDIUM GRAY
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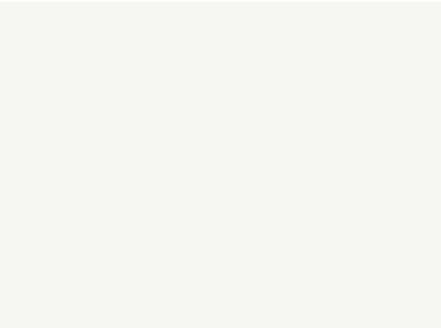


SOUTH ELEVATION

MATERIALS



1



3



4

KEY

- 1 BRICK | CUSTOM PEWTER / ASPEN BLEND
- 2 BLACKENED STEEL
- 3 FIBER CEMENT PANEL SIDING | LIGHT GRAY
- 4 FIBER CEMENT PANEL SIDING | MEDIUM GRAY
- 5 ALUMINUM STOREFRONT | BLACK
- 6 VINYL WINDOWS | BLACK
- 7 METAL TRIM / FLASHING | BLACK
- 8 METAL ACCENT | BLACK
- 9 FIBER CEMENT PANEL SIDING | DARK GRAY
- 10 CONCRETE - CAST IN PLACE | NATURAL
- 11 CONCRETE - CMU | MATCH ADJACENT

 PROPOSED ARTWORK / MURAL LOCATION

NOTE: Artwork shown is representative only - mural design to be determined with public input and presented to the pioneer square preservation board as a separate certificate of approval.





STREET LEVEL VIEWS



NORTH - EAST FACADES

NOTE: Artwork shown is representative only - mural design to be determined with public input and presented to the pioneer square preservation board as a separate certificate of approval.



NORTH - WEST FACADES



AERIAL / STREET LEVEL VIEWS



NORTH FACADE



SOUTH-EAST FACADES

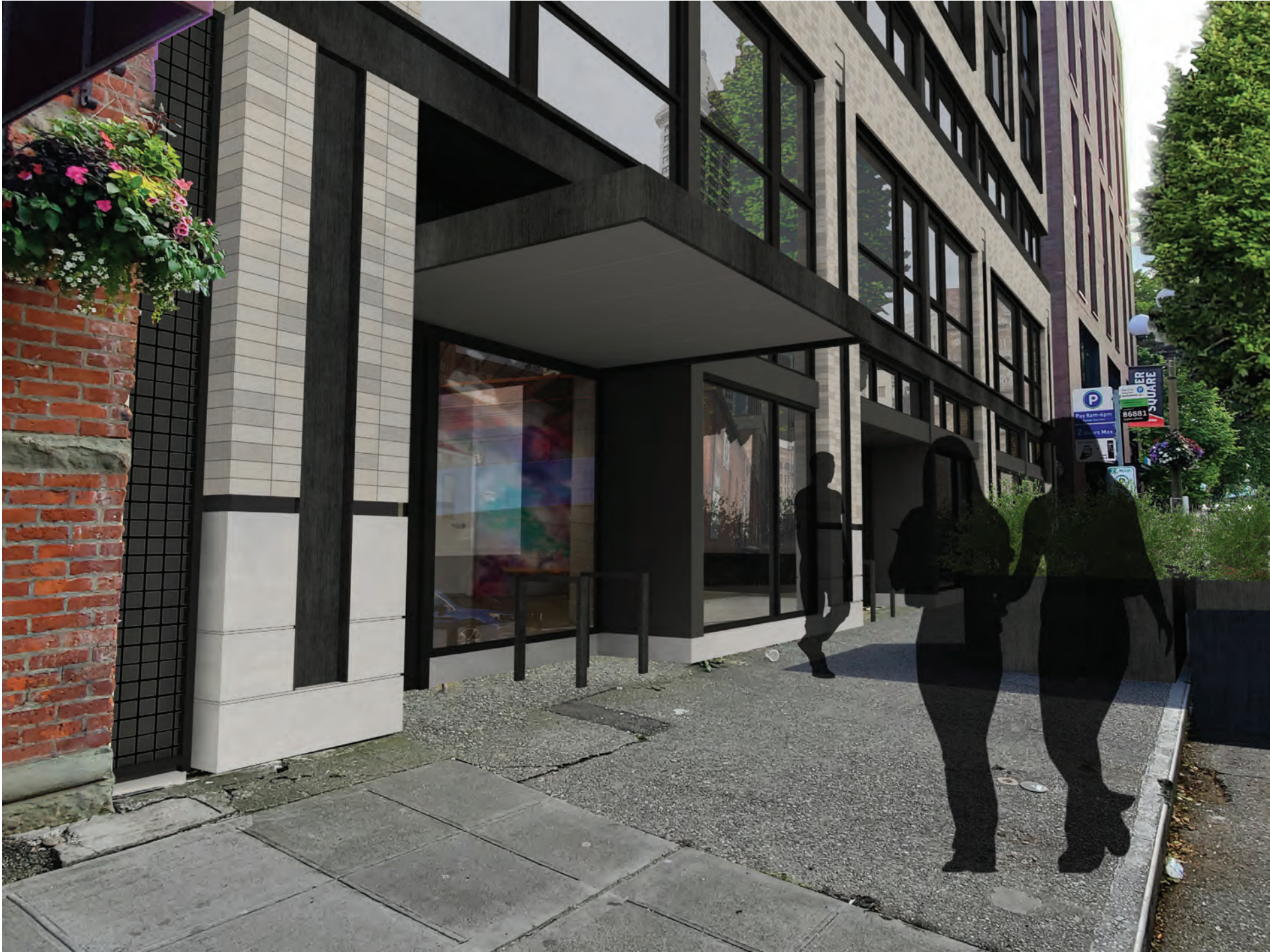


EAST FACADE

NOTE: Artwork shown is representative only - mural design to be determined with public input and presented to the pioneer square preservation board as a separate certificate of approval.



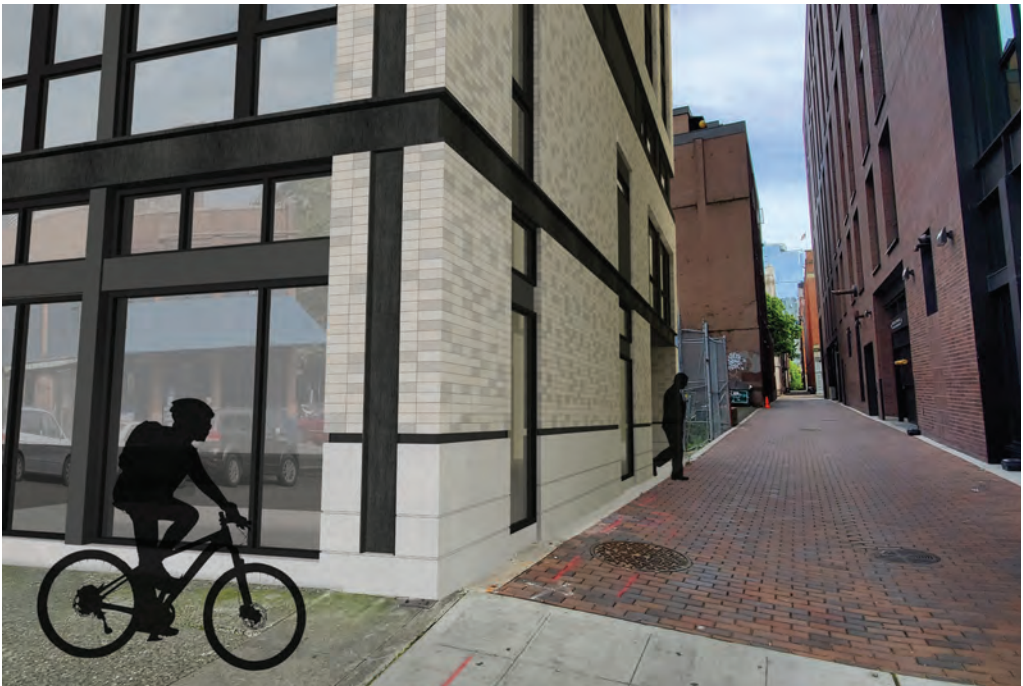
STREETSCAPE VIEWS



LOOKING WEST ON SOUTH WASHINGTON



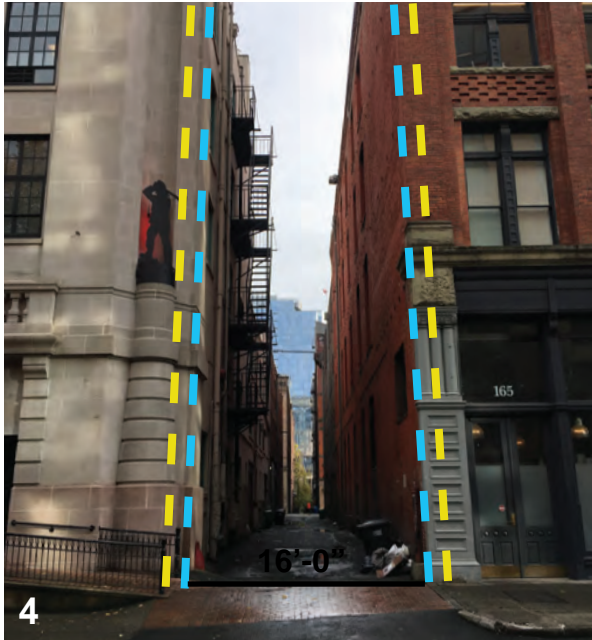
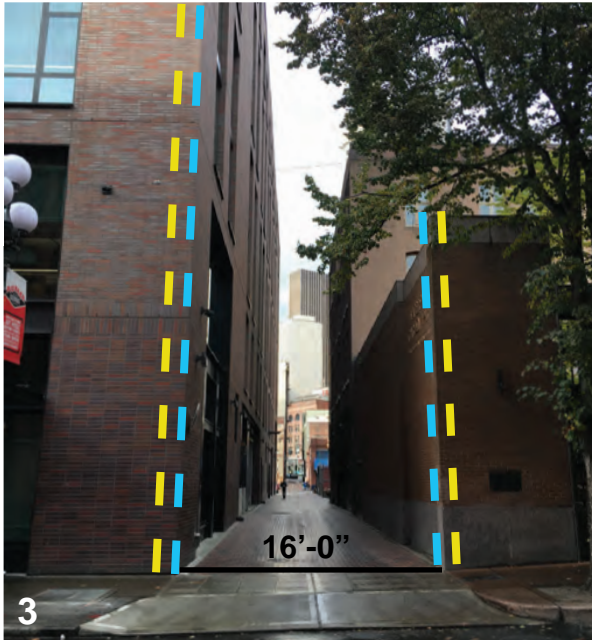
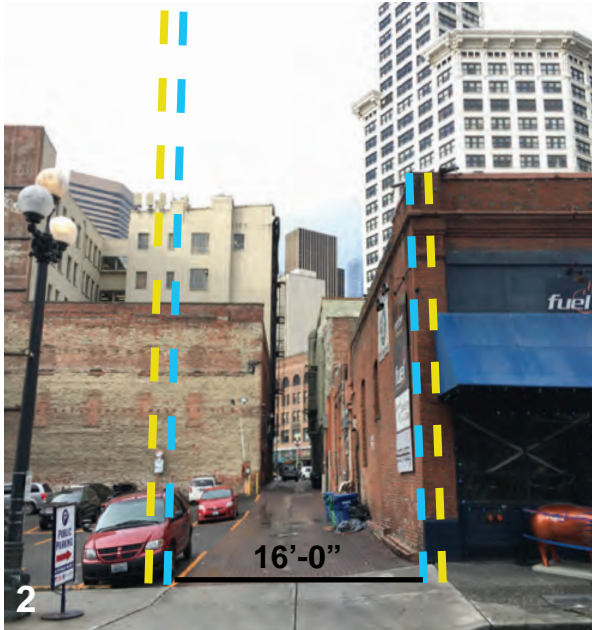
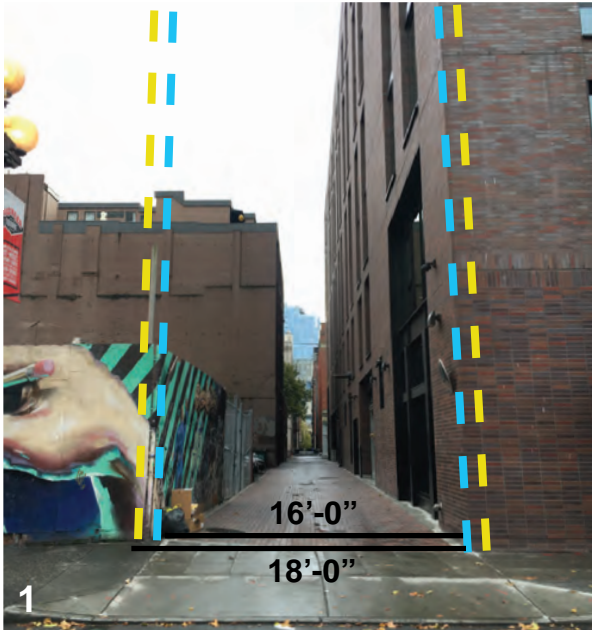
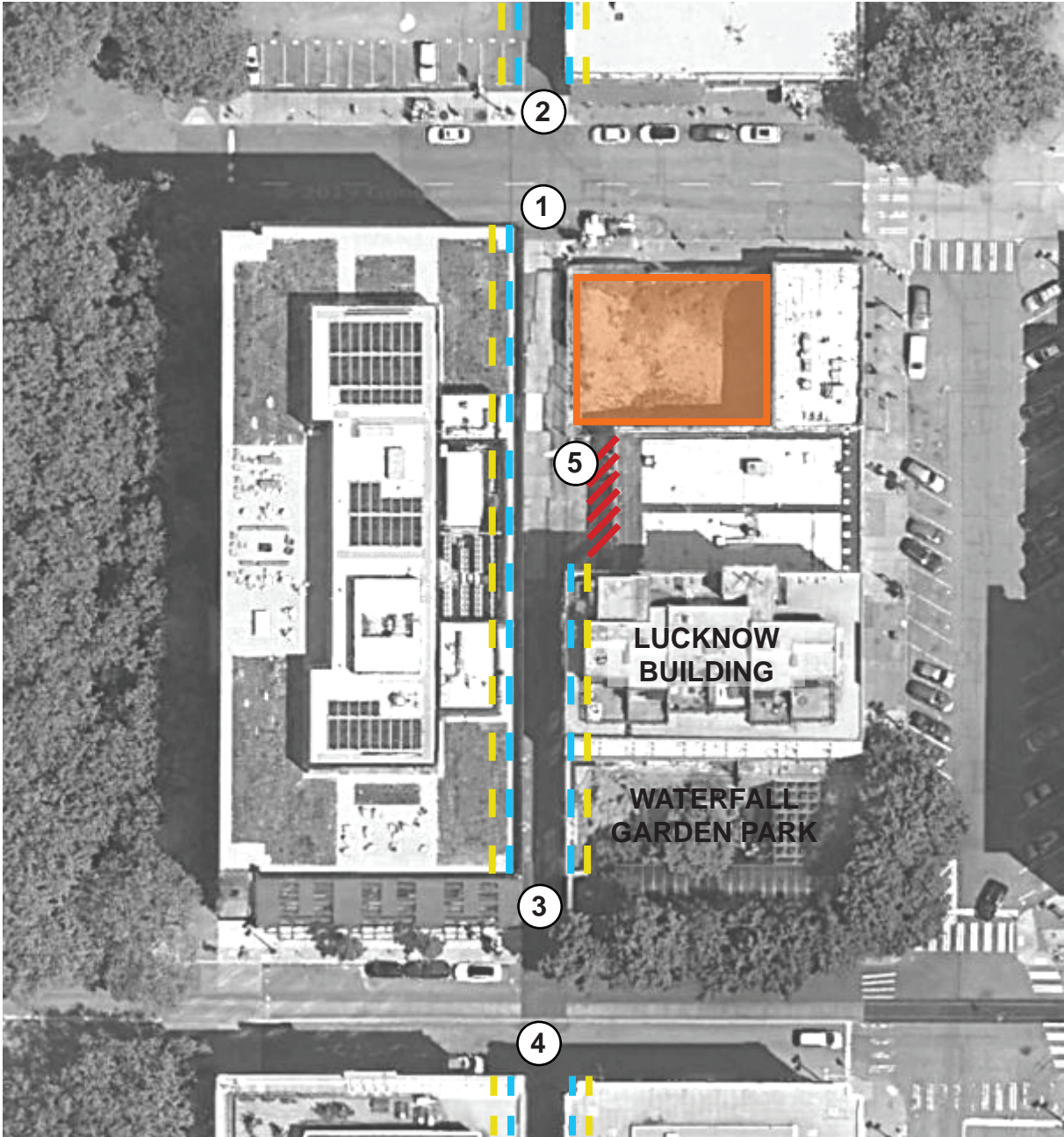
LOOKING EAST ON SOUTH WASHINGTON



LOOKING SOUTH DOWN ALLEY



SMC 23.53.030.F2 | ALLEY SETBACK



**EAST SIDE OF ALLEY**  
The site abuts the east edge of the alley. The three other structures on the same side are the Waterfall Garden Park and Lucknow building, both of which are built to the edge of the alley with no setback. Directly adjacent, the building is set back 14 feet from the alley, however this was done to provide parking and garbage staging area, not in accordance with the SDCI requested setback.



LEGEND

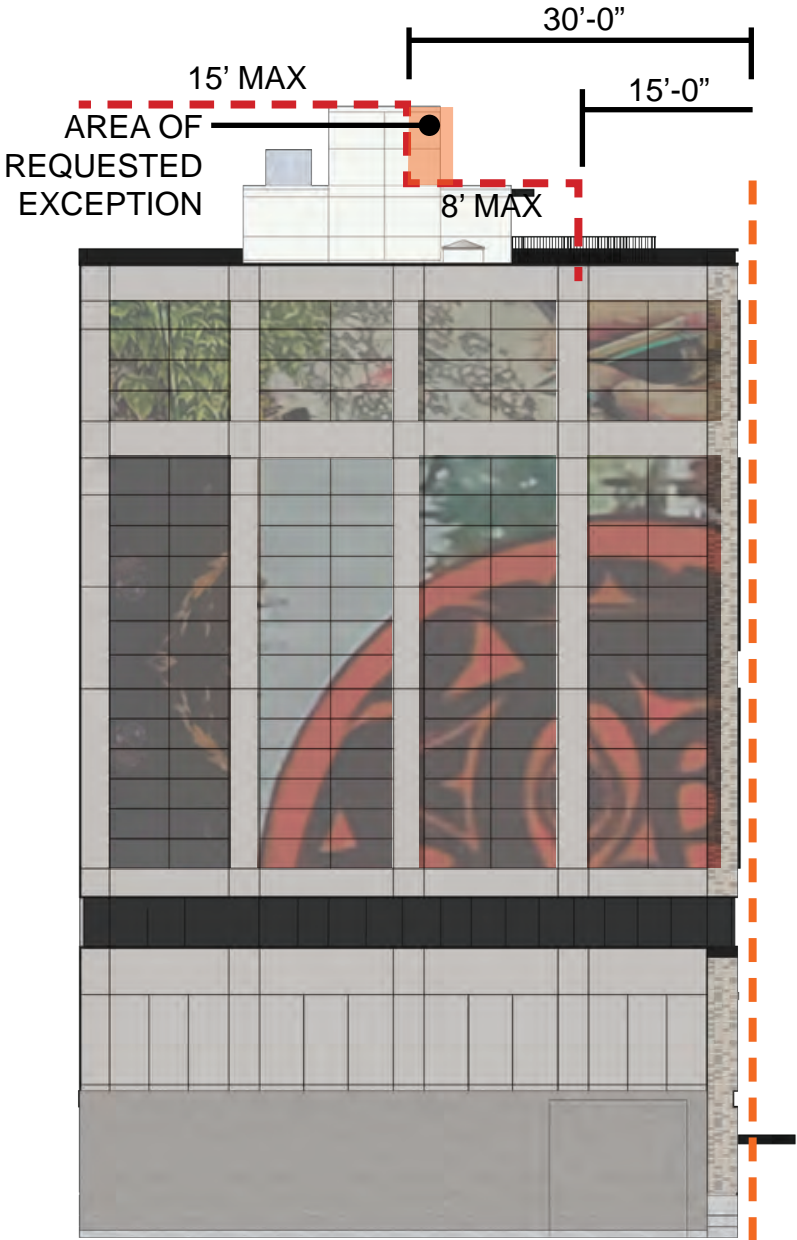
- ① IMAGE LOCATION
- BUILT TO ALLEY EDGE
- SITE LOCATION
- SDCI 2'-0" SETBACK
- /// PARKING AREA

SDCI 2'-0" SETBACK

An exception from SDCI's 20'-0" alley width and 2'-0" setback requirement is requested, based on the provisions of SMC 23.53.030.G5 noting "the widening and/or improvement would be detrimental to the character and goals of the district". Structures in Pioneer Square have historically been built to the alley edge. Our side of the alley is shared with both the Lucknow building and Waterfall Garden Park, which are built to the alley edge. Additionally, the more recently constructed 200 Occidental building on the opposite side of the alley does not adhere to the 2'-0" setback, meaning the alley will always have portions remaining at a maximum 16'-0" width. Furthermore the alleys connected to ours on either end do not adhere to the 20'-0" alley width or 2'-0" setback requirement, and we would like to maintain continuity throughout this pedestrian corridor.

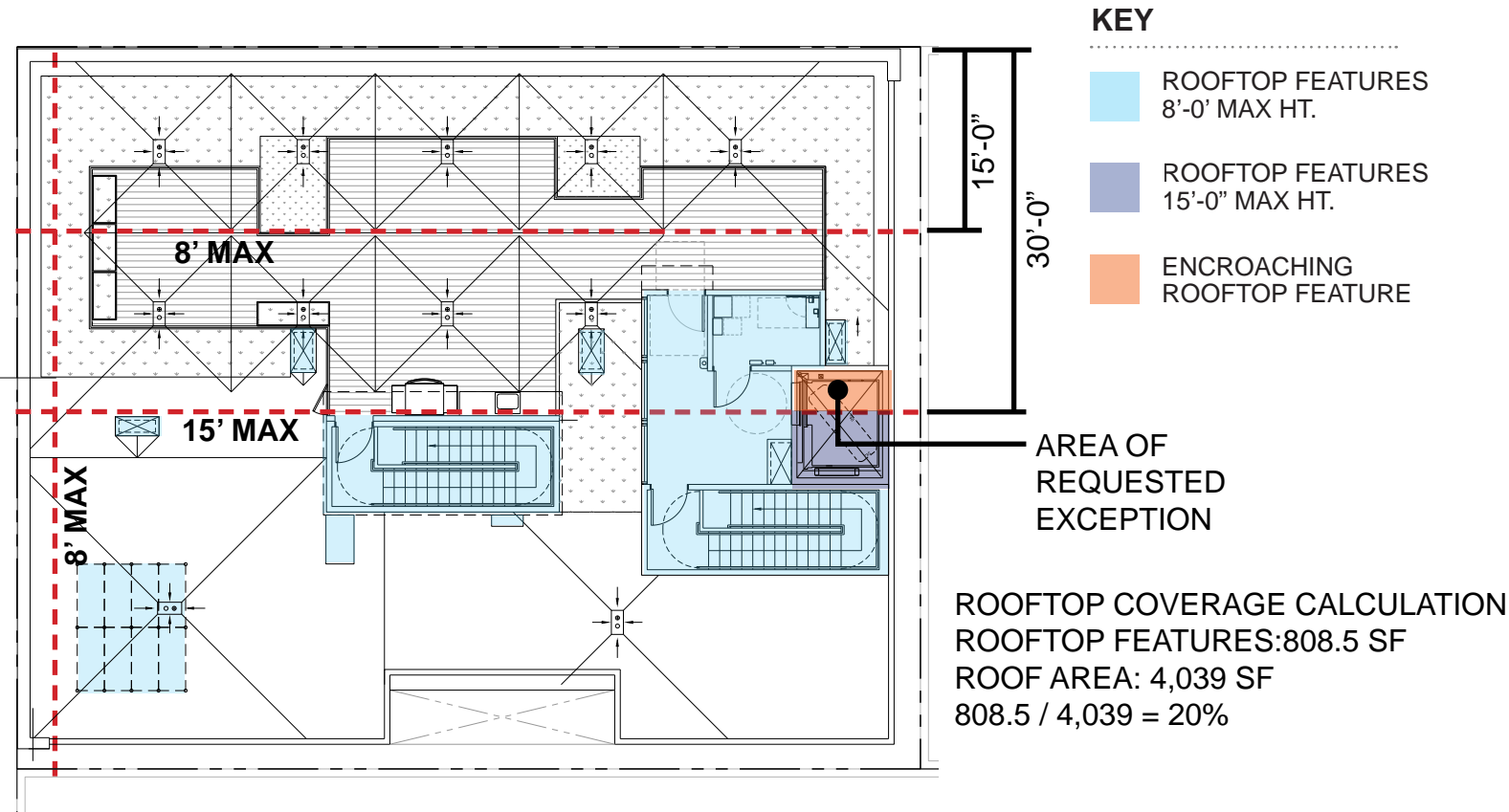


SMC 23.66.140 | ROOFTOP FEATURES



SETBACK EXCEPTION REQUE

All rooftop features over 8'-0" tall are set back 30'-0" from the street facing facade (S Washington Street), with the exception of the elevator overrun, which encroaches 3'-6" into the 30'-0" setback. The remaining portion of the elevator overrun and all other rooftop features over 8'-0" (roof mounted mechanical equipment) are located beyond the 30'-0" setback. The elevator location is driven by the location and configuration of the lobby, as supported by the pioneer square preservation board to allow for a spacious lobby with high transparency and visibility along the S Washington Street frontage. The minor encroachment into the 30'-0" setback does not increase the penthouse's visual impact from the street level.



EAST FACADE

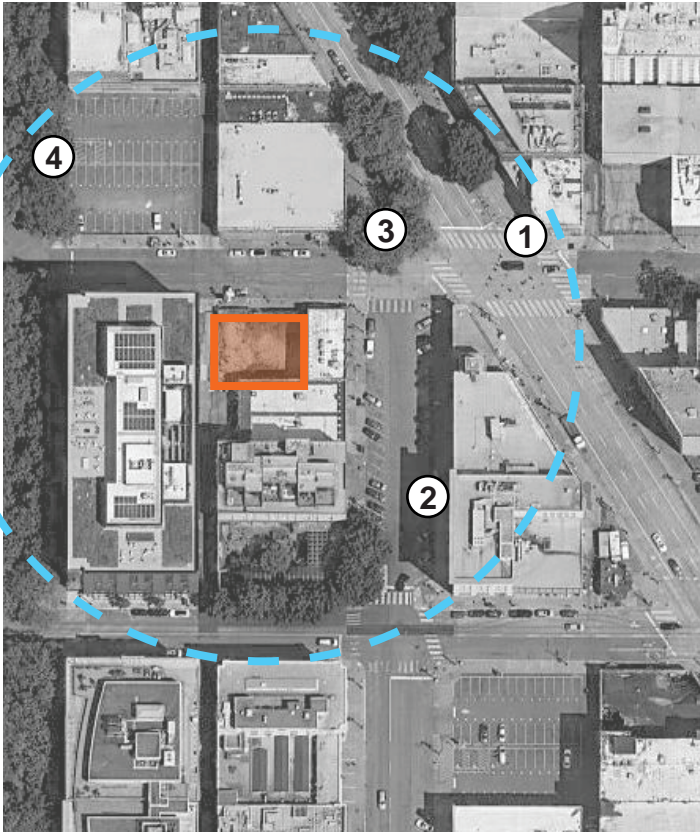
NOTE: Artwork shown is representative only - mural design to be determined with public input and presented to the pioneer square preservation board as a separate certificate of approval.

FACADE COMPOSITION

While no setback is required from the common wall along the east property line, it's visual impact from the street (2nd Ave S & 2nd Ave S Extension) has been assessed as well. The penthouse and composition of the east facade frame expression are aligned, creating continuity in the massing and composition. Furthermore the penthouse is set back slightly from the primary facade, allowing the penthouse volume to recede behind the primary facade and proposed artwork.



SMC 23.66.140 | ROOFTOP FEATURES



**LEGEND**

#

IMAGE LOCATION

SITE LOCATION

300' RADIUS

COMPLIANT PENTHOUSE

**VIEW STUDIES**

As shown in these view studies, the visual impact of the proposed elevator penthouse is minimal, and the additional 3'-6" of setback makes no significant change in the overall visibility of the feature.



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SMC 23.49.018 | OVERHEAD WEATHER PROTECTION



**LEGEND**

#

IMAGE LOCATION

SITE LOCATION

**IMAGE LOCATIONS**

1.

The Lucknow

2.

Seattle Impact Hall

3.

Pacific Commercial Building

4.

McCoy's Firehouse Bar

5.

Canton Lofts

6.

200 Occidental



Overhead weather protection is not consistent throughout the district, but where it does occur it is often used as a way finding element to highlight either the primary entry or residential entry. Continuous canopies are more common on commercial structures.



The proposed canopy, made of steel and metal, marks the residential entry on the east edge of the facade. It protrudes from a recessed entry alcove and aligns with the windows and facade composition above. The canopy will provide a location for potential future signage (to be submitted and approved as a separate Certificate of Approval)



OVERHEAD WEATHER PROTECTION

A departure from the required overhead weather protection provisions of SMC 23.49.018, which requires continuous overhead weather protection along the entire site frontage, at a height of 10 feet minimum, and at a depth of 8'-0" minimum is being requested. The provisions of SMC 23.66.180.C require weather protection within the Pioneer Square Preservation District must be 5'-0" minimum in depth and functional, but does not require it to be continuous along the entire frontage. The proposed canopy over the residential entry is compliant with the provisions of SMC 23.66.180.C (5'-0" depth) and while the presence of canopies, as well as their location and design, are varied throughout the district, it is significantly more common to use canopies to accentuate an entry than provide a single, continuous canopy. A singular, protruding canopy, as well as the proposed depth and height are more compatible with other buildings, both historic and new, within the district.



# PROJECT OBJECTIVES

- Provide quality, market rate workforce housing for a diverse community, establishing “live where you work” opportunities for those employed in the neighborhood.
- Create a positive contribution to the built environment through design, craft, and sensibility to the surrounding context.
- Continue our commitment to strategic, sustainable, and affordable urban development

ARCHITECT | SKIDMORE JANETTE ARCHITECTURE PLANNING & DESIGN

OWNER | JOHNSON CARR, LLC.

CERTIFICATE OF APPROVAL ADDENDUM | 10/12/2020

# CONTENTS

EXISTING CONTEXT		DESIGN COMPATIBILITY		FACADE DESIGN		PROPOSED DESIGN		EXEMPTION / DEPARTURE REQUESTS	
3	NEIGHBORHOOD AERIAL	26	HEIGHT AND SCALE	37	PHILOSOPHY	65 - 68	RENDERINGS	86	ROOFTOP FEATURES
4 - 9	NEIGHBORHOOD OVERVIEW	27 - 30	BUILDING DESIGN	38 - 40	PRECEDENT	69 - 72	ELEVATIONS	87	ALLEY SETBACK
10 - 14	ACTIVATION	31 - 33	FACADE ORGANIZATION	41 - 45	DESIGN STUDIES	73 - 79	FLOOR PLANS	88	WEATHER PROTECTION
15 - 25	SITE ANALYSIS	34 - 36	FACADE MATERIALS	46 - 49	DESIGN EVOLUTION	80 - 81	ROOFTOP FEATURES		
				50 - 54	DESIGN PROPORTIONS / ELEMENTS	82	LANDSCAPE		
				56 - 57	ARTWORK	84	STREET LEVEL USES	89	WORK SAMPLES
				58 -64	MATERIALITY / BRICK COLOR	85	VIEW STUDY - KOBE TERRACE		





## VICINITY MAP OVERVIEW

Address | 165 S WASHINGTON ST  
 Site Area | 4,500 SF (75'-0" x 60'-0")  
 Zone | Downtown PSM 100 / 100-120  
 Overlays | Pioneer Square Preservation District  
 Urban Harborfront Historic Character Area  
 Downtown Fire District

Maximum FAR | N/A

Environmentally Critical Areas (ECA) |  
 Peat Settlement Prone Area – ECA11  
 Liquefaction Prone Area – ECA5

Opportunity Zone  
 Design Review Equity Area

Proposed # of Dwelling Units: 77  
 Proposed Commercial SF: 2,820 SF





ZONING, AMENITIES, AND OPEN SPACE



1 CHINATOWN



2 GREAT HALL UNION STATION



3 PELICAN STAY SUITES



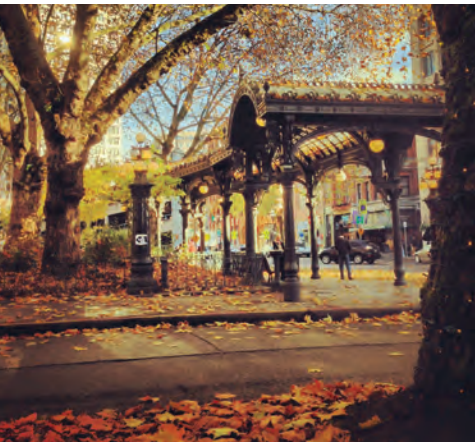
4 PIONEER SQUARE STATION  
SOUND TRANSIT



5 UPS WATERFALL GARDEN  
PARK



6 OCCIDENTAL SQUARE



7 PIONEER SQUARE



8 CITY HALL PARK

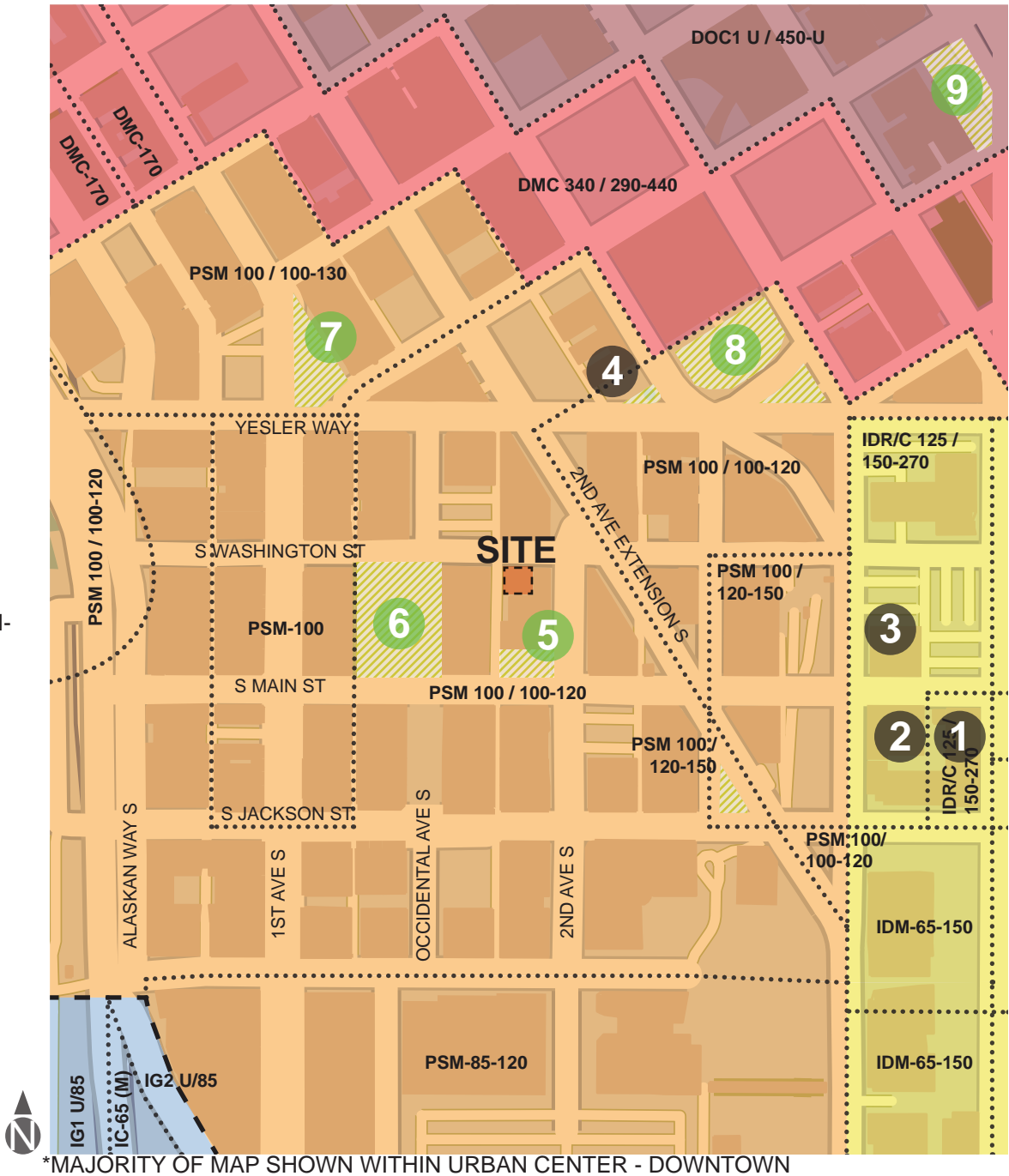


9 GOAT HILL PARK / P-PATCH

**KEY**

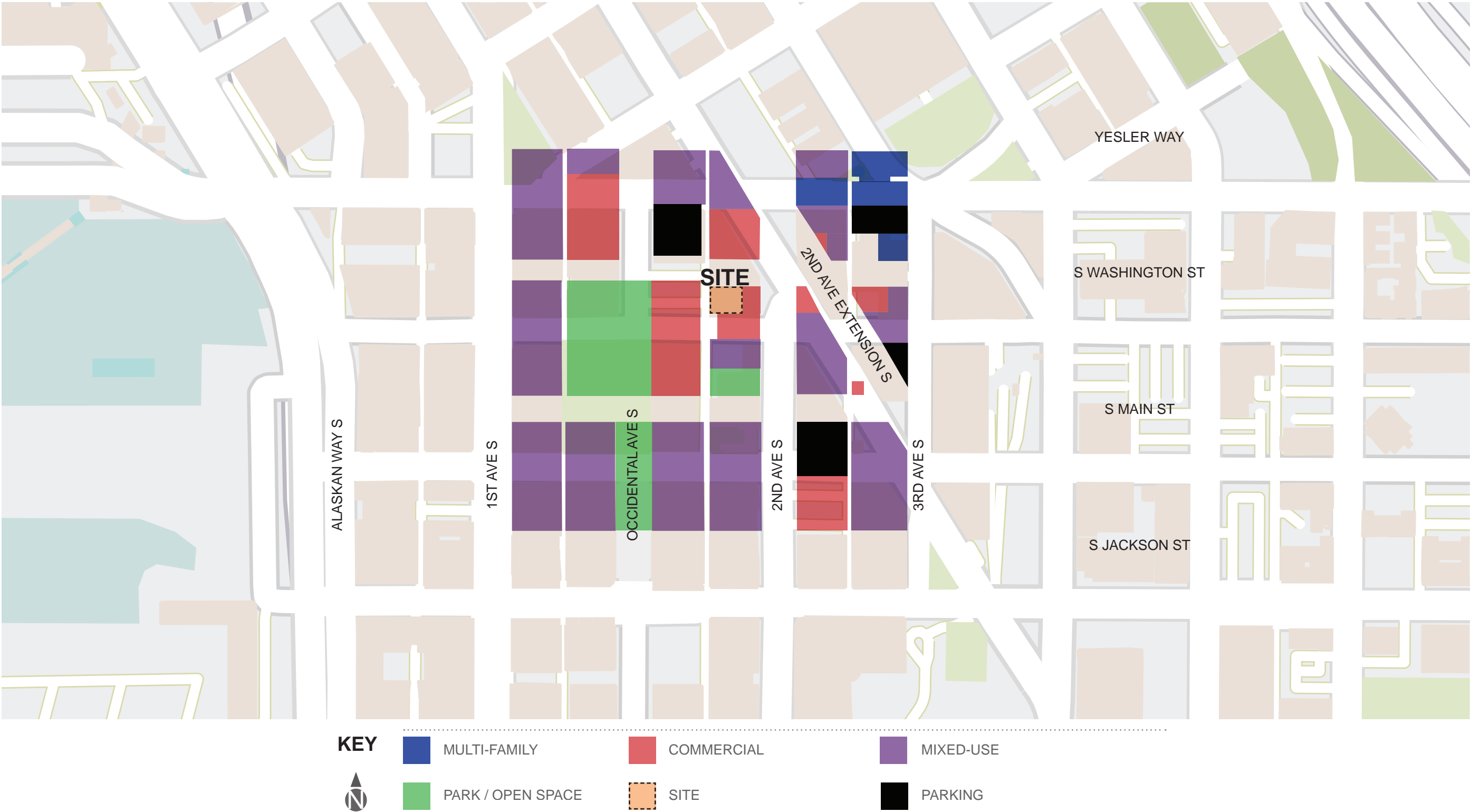
- DOC
- DMC
- PSM
- IDM / IDR
- INDUSTRIAL
- CITY PARK
- SITE
- BOUNDARIES BETWEEN ZONING
- DOWNTOWN URBAN CENTER BOUNDARY

ZONING





ADJACENT USES | PLAN





ADJACENT USES | AERIAL



**KEY**

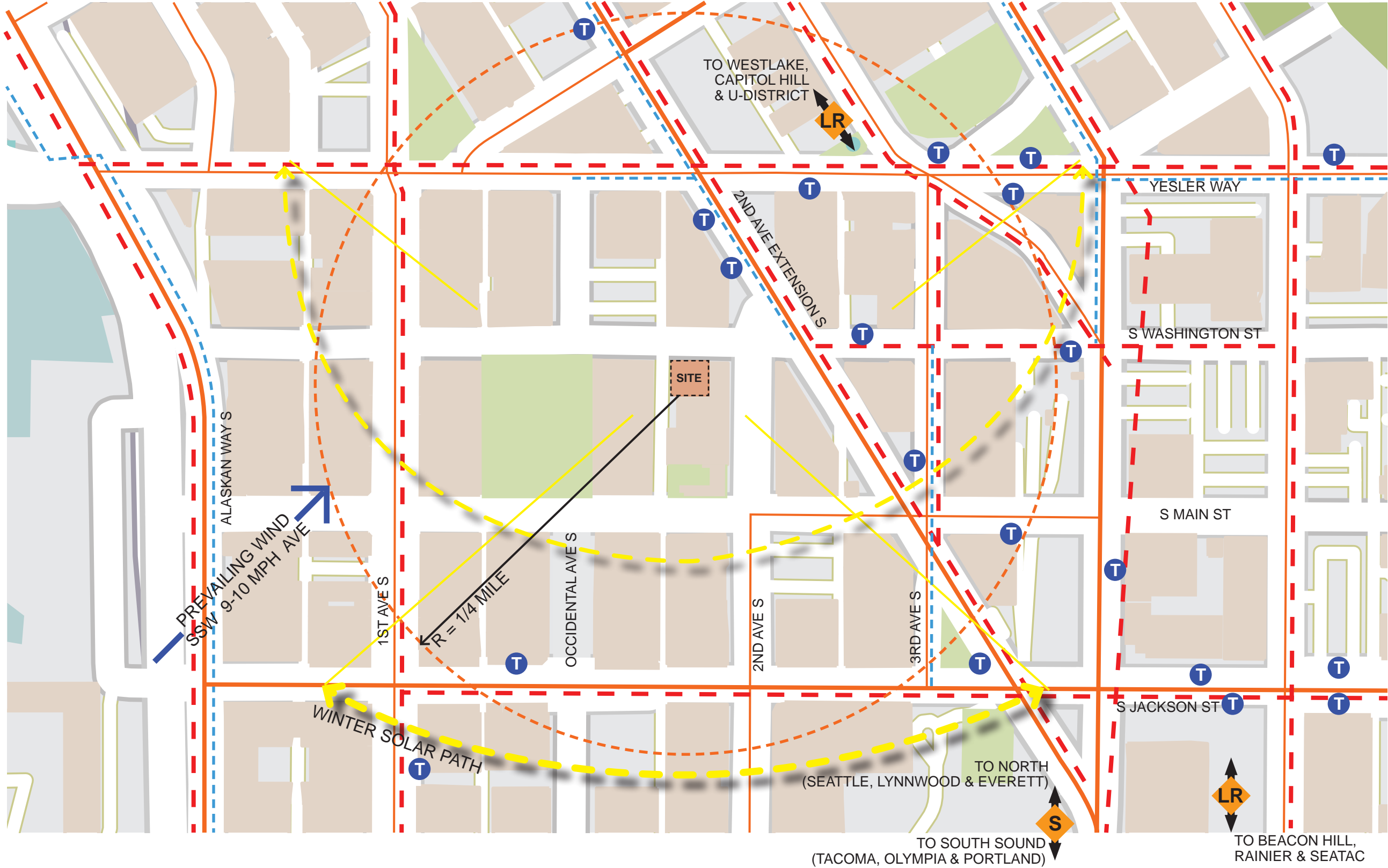
MULTI-FAMILY	COMMERCIAL	MIXED-USE
PARK / OPEN SPACE	SITE	PARKING



CIRCULATION, TRANSIT, & ENVIRONMENTAL DESIGN

KEY

- MAIN ARTERIAL
- SECONDARY ARTERIAL
- BIKE ROUTE / LANES
- NEARBY TRANSIT STOP
- TRANSIT ROUTE
- LIGHT RAIL STATION
- SOUND TRANSIT





ACTIVATION | NEIGHBORHOOD SCALE



STOREFRONTS (A)

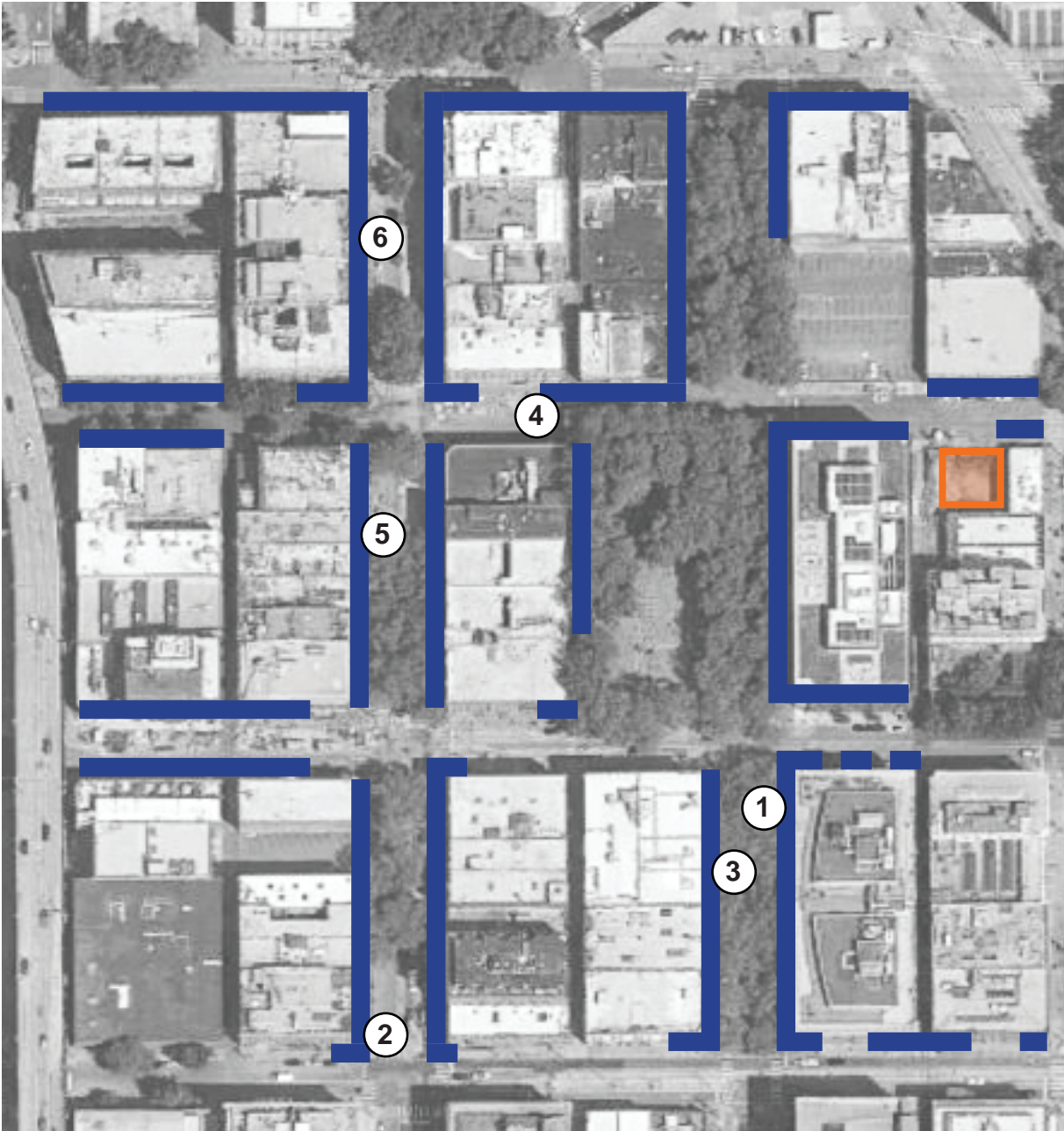
OUTDOOR SEATING (B)

MURALS (C)

ALLEYS (D)



ACTIVATION | STOREFRONTS



LEGEND

- 1 IMAGE LOCATION
- 2 SITE LOCATION
- 3 STOREFRONT

STOREFRONTS

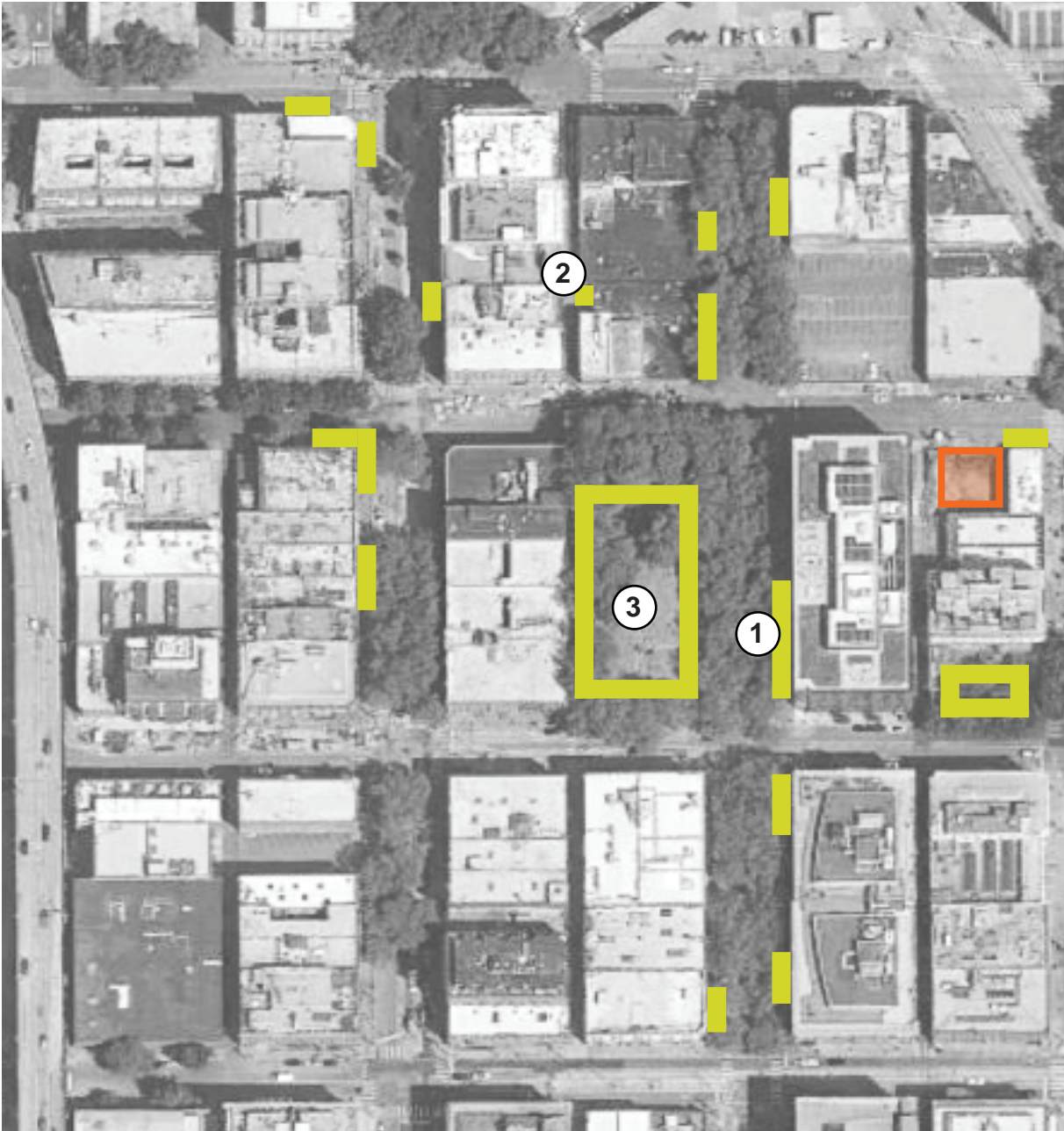
The most common activation in Pioneer Square occurs at the street level. Typically ornamental, storefronts in Pioneer Square have large, unobscured windows that peer deep into their respective shops and restaurants, giving pedestrians a clear and inviting view of goods and services.

ORNAMENTS

Many storefronts in the area adorn themselves with specialty craftsmanship.



ACTIVATION | OUTDOOR SEATING



1 Image source: Mithun



LEGEND

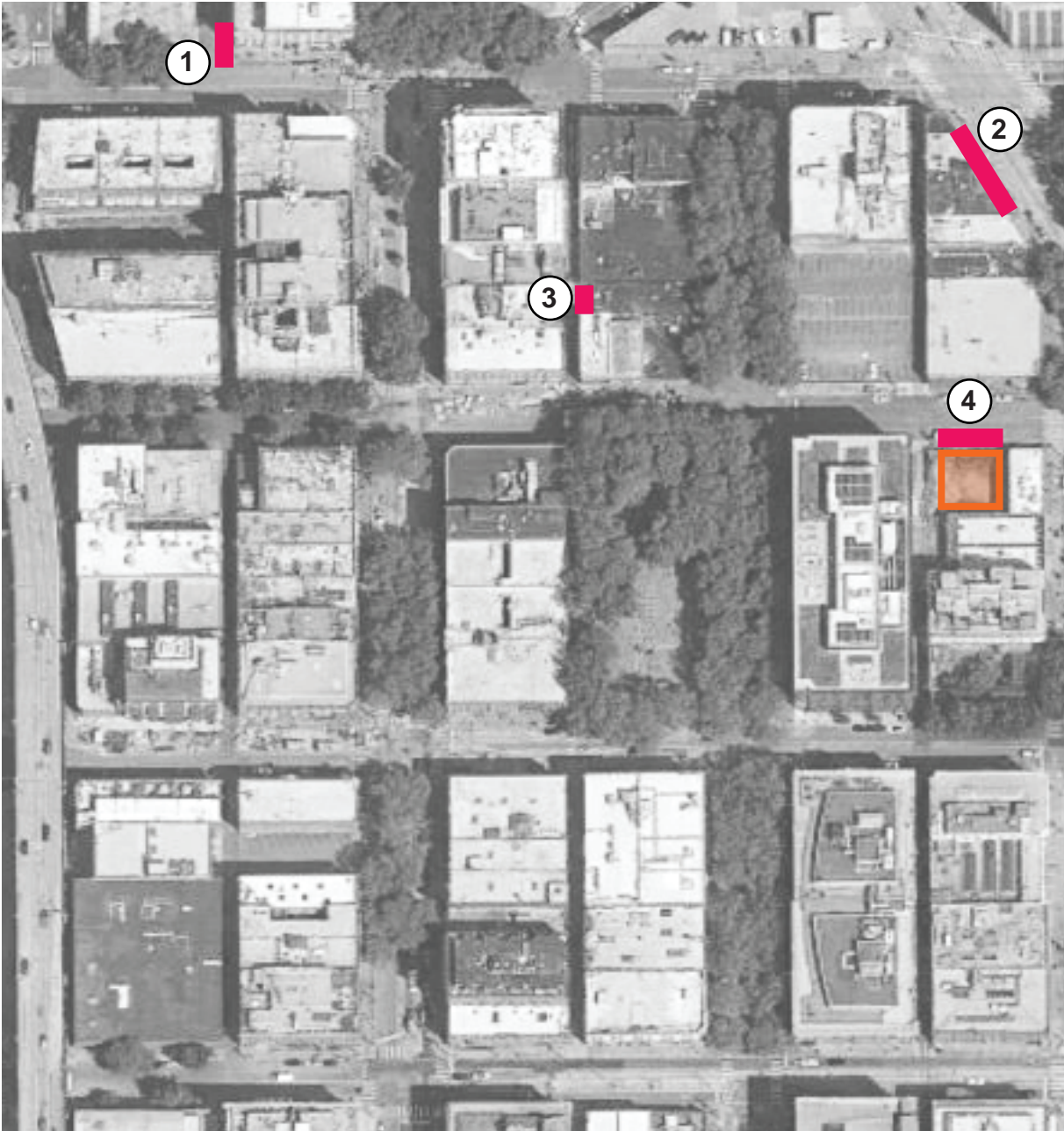
- 1 IMAGE LOCATION
- 2 SITE LOCATION
- OUTDOOR SEATING

OUTDOOR SEATING

Restaurants, bars, and cafes utilize outdoor seating (when it's dry) to encourage visitors and workers of the area to sit and interface as a community. Occidental Square hosts games and art installations throughout the summer, and also provides ample seating for people to gather and eat while watching local musical performances.



ACTIVATION | MURALS



LEGEND

- 1 IMAGE LOCATION
- 2 SITE LOCATION
- MURAL

MURALS AND LOCAL ART

Pioneer Square showcases local artists' work through many outlets, such as galleries, shops, and large-scale murals. Our site has been home to "The Originale" mural for over a decade, a piece that can be read as a condensed timeline of the area.

- 1. "Post Alley Mural"
- 2. "The Finches"
- 3. Casco Antiquo
- 4. "The Originale"

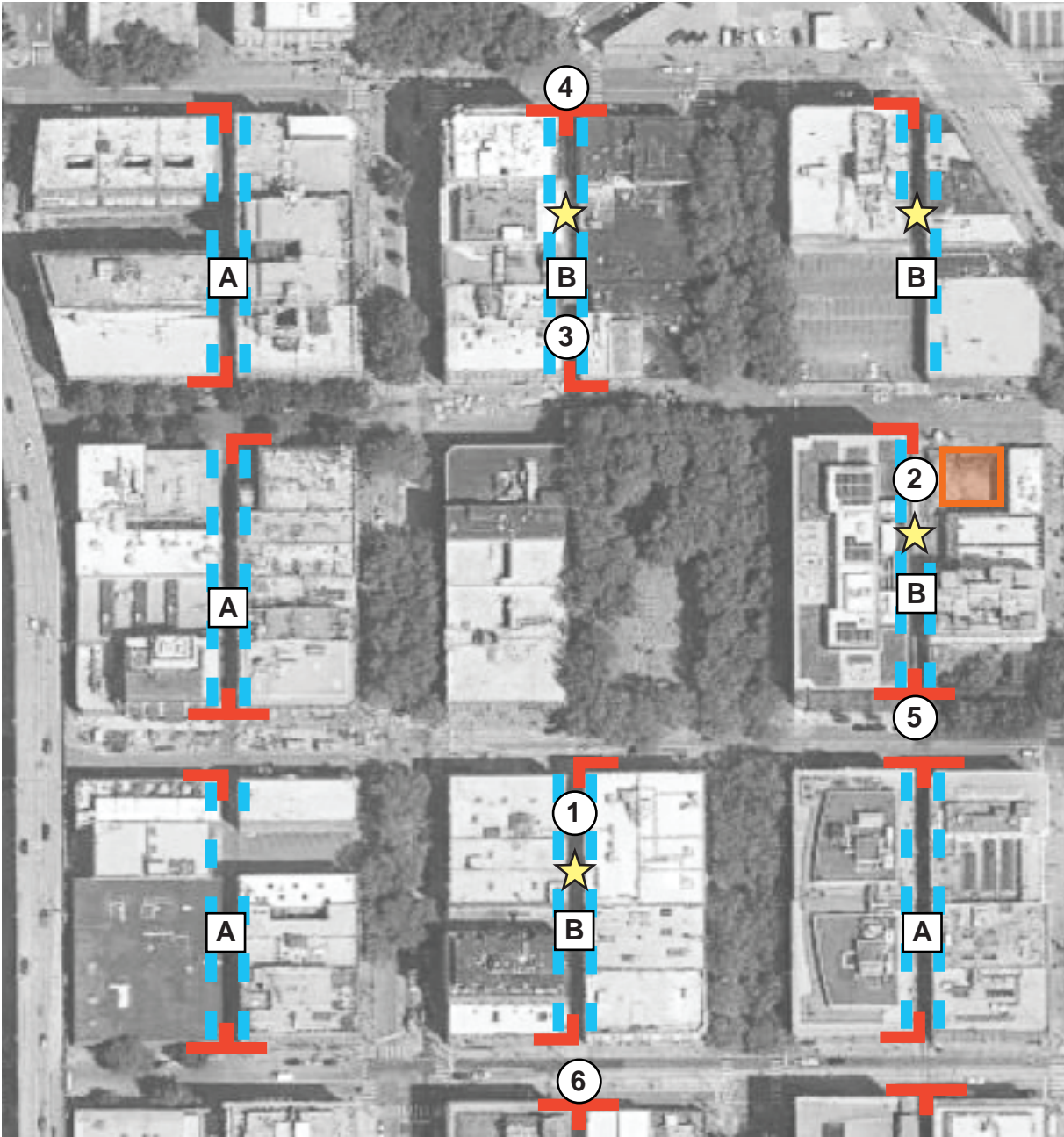
RECENT PROJECTS

The team has utilized community feedback and local artists to create and incorporate murals with recent projects.

- A. Phinney Flats
- B. Pike Flats



ACTIVATION | ALLEYS



1 Image source: International Sustainability Institute



2



3 Image source: International Sustainability Institute

IMPROVED ALLEYS

SDOT recently repaved multiple alleys in the area—this improvement promotes pedestrian activity and opened opportunities for businesses to activate these spaces. The alley adjacent to our site was also improved, and our goal is to utilize this.

- 1. Nord Alley
- 2. Alley adjacent to Site
- 3. Pioneer Passage



4



5



6



LEGEND

- 1 IMAGE LOCATION
- MATERIAL FOLD
- IMPROVED ALLEY
- A PAVING TYPE
- BUILT TO ALLEY EDGE
- SITE LOCATION

FOLDING OF FACADES

A notable feature of the area is its brick and stone alleys, where several bars and restaurants have rear access. Facade materials and designs fold around corners, inviting pedestrians to meander through. String lighting, art, and ornamental features also effectively transform them into alluring areas.

SETBACKS

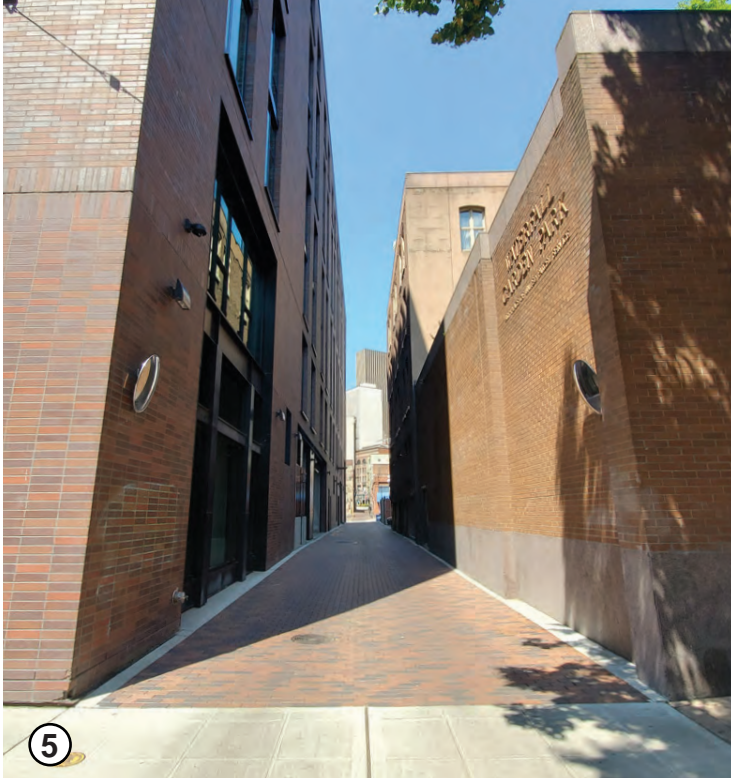
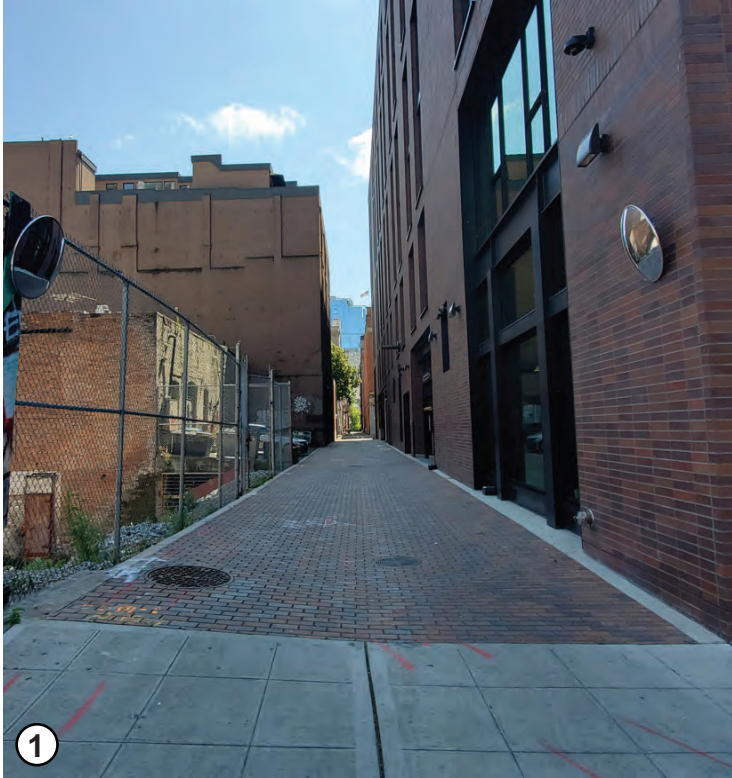
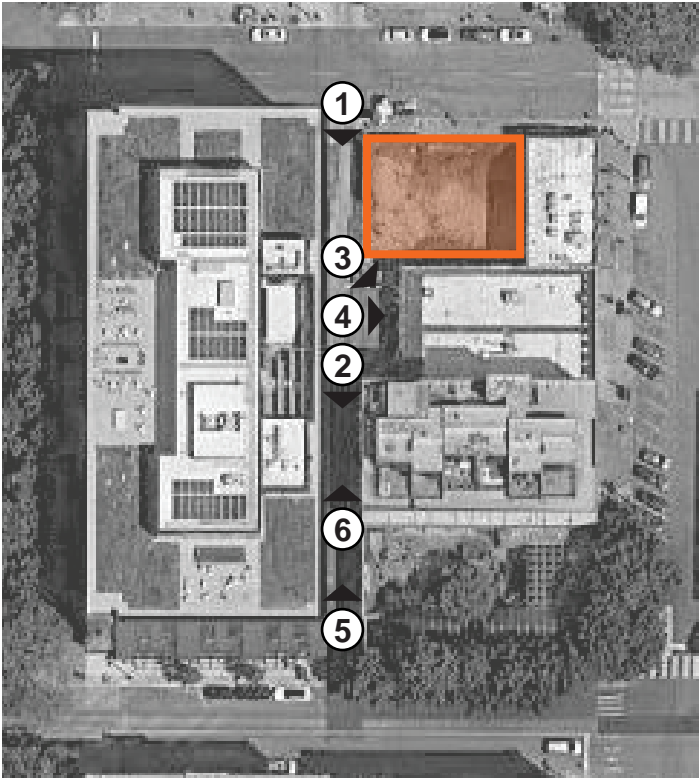
Structures are typically built to the alley edge with no additional setback, effectively creating the “corridors” that are characteristic of these alleys.

PAVING MATERIALS


- A. Asphalt
- B. Brick / Paver

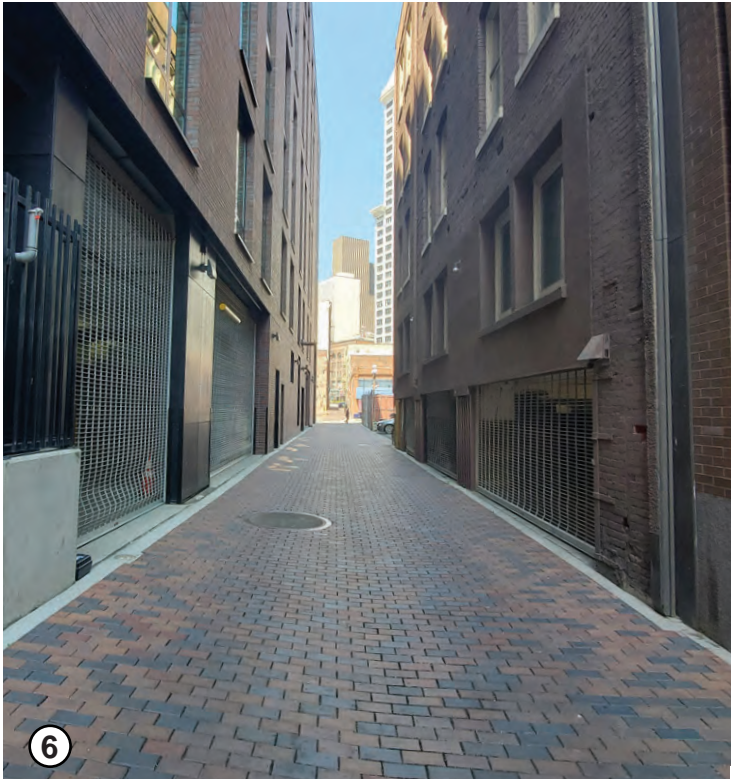
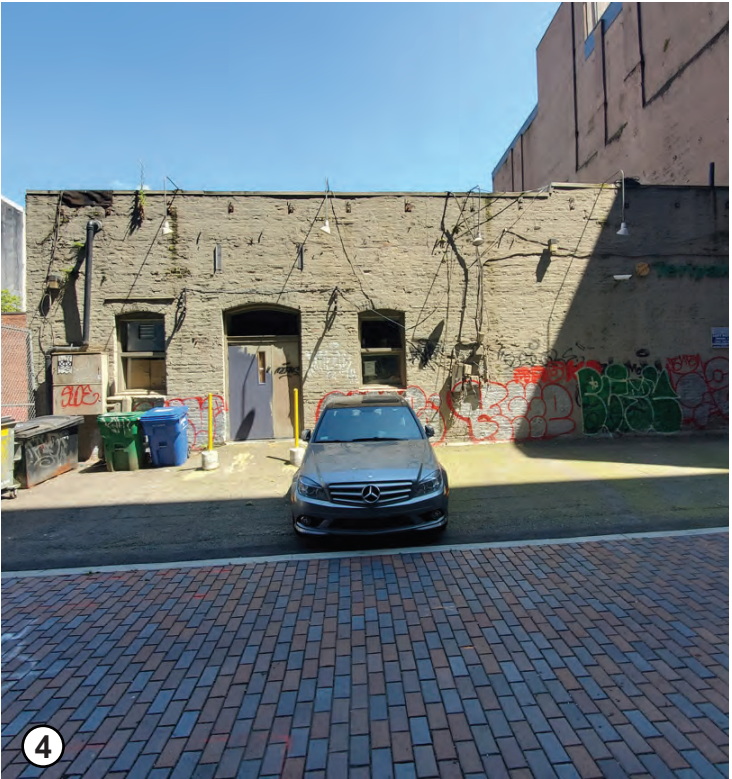


ALLEY



**LEGEND**

# IMAGE LOCATION     SITE LOCATION





STREETSCAPES



LEGEND

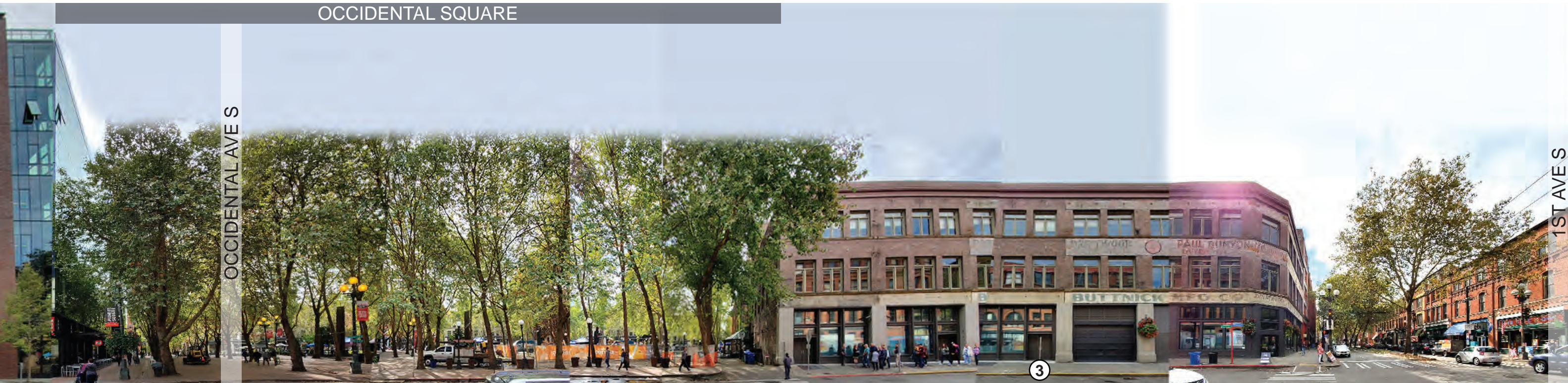
# BUILDING ID      SITE LOCATION

EXISTING BUILDING PRECEDENTS

- |                          |                      |
|--------------------------|----------------------|
| 1. McCoy's Firehouse Bar | 4. Delmar Building   |
| 2. 200 Occidental Ave S  | 5. 118 S Washington  |
| 3. Buttnick Building     | 6. 124 S Washington  |
|                          | 7. 164 S Washington  |
|                          | 8. 401 2nd Ave Ext S |









STREETSCAPES



**LEGEND**

#

BUILDING ID

SITE LOCATION

**EXISTING BUILDING PRECEDENTS**

1. Monterey Lofts

7. Cadillac Hotel

2. 210 S Washington St

8. 319 2nd Ave S

3. 220 2nd Ave S

9. Seattle Fire HQ

4. 220 2nd Ave S

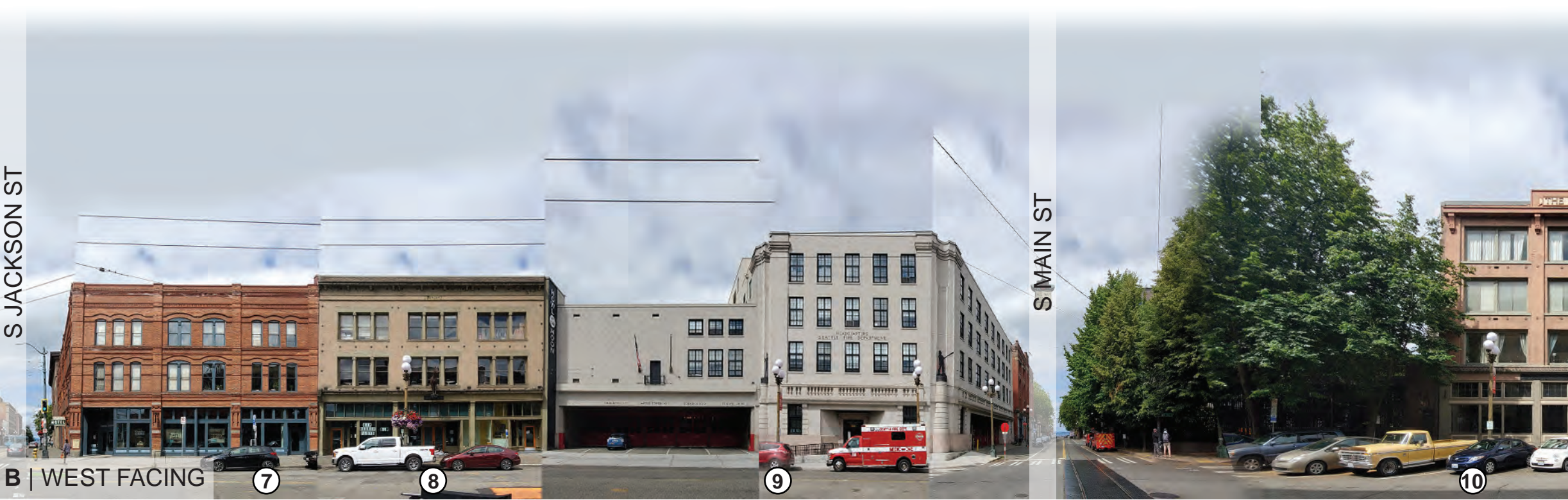
10. The Lucknow

5. Pacific Commercial

11. McCoy's Firehouse

6. Moses Building

12. 172 S Washington







S MAIN ST



S JACKSON ST



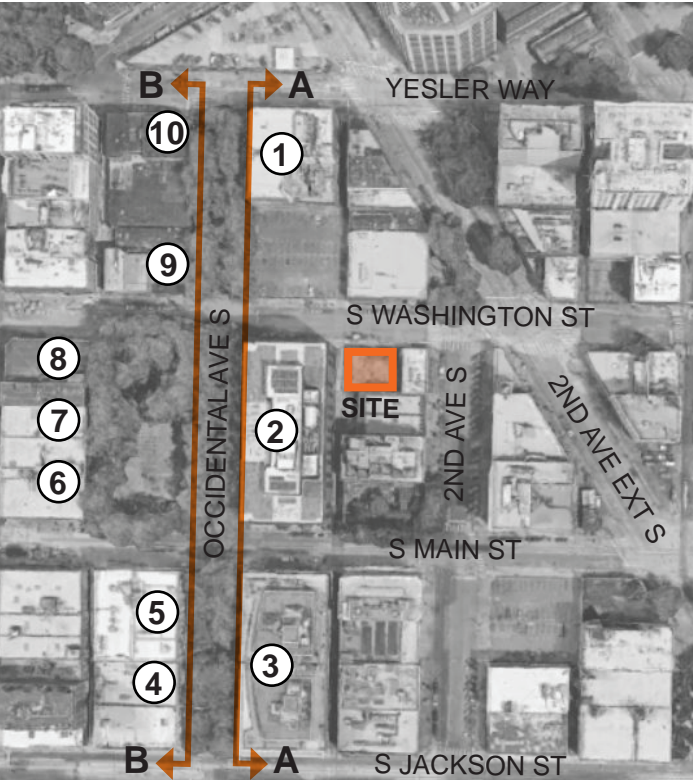
S WASHINGTON ST



YESLER WAY



STREETSCAPES



A | EAST FACING



LEGEND

# BUILDING ID      SITE LOCATION

EXISTING BUILDING PRECEDENTS

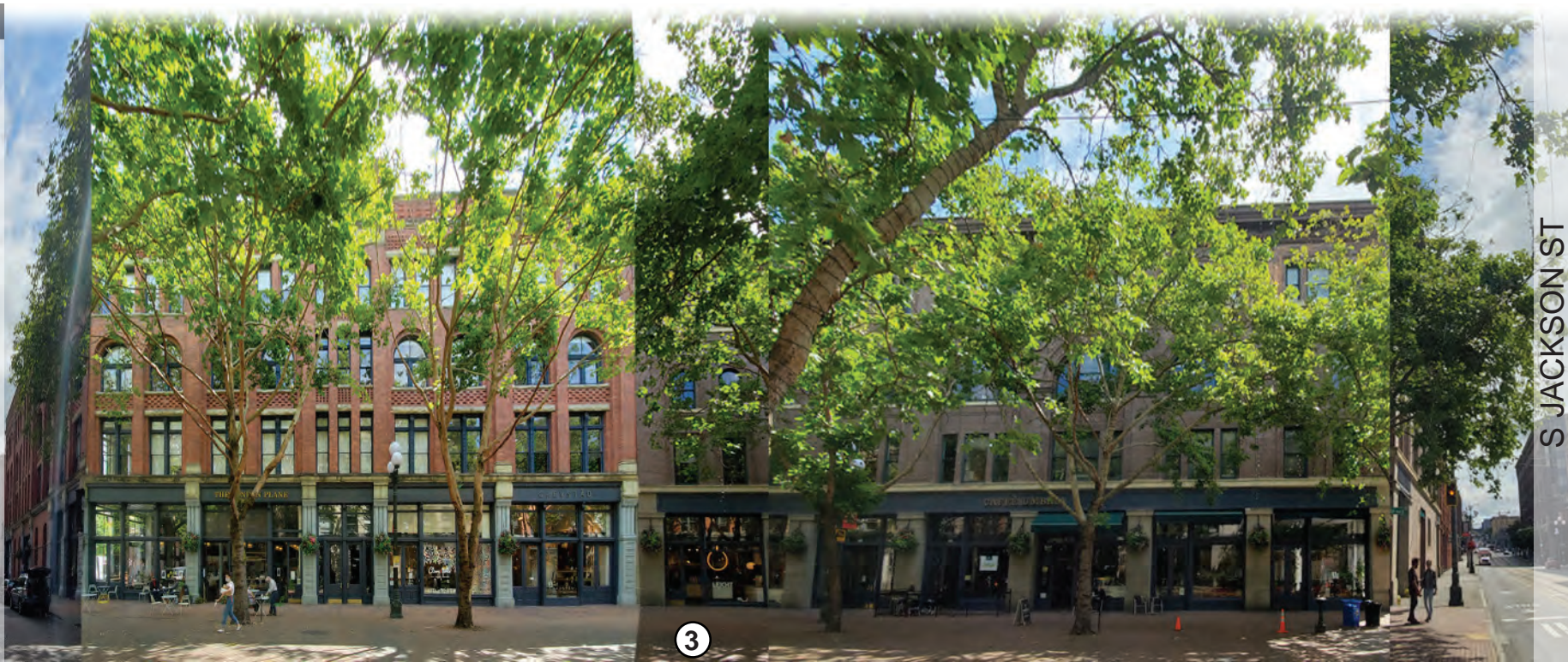
- |                        |                         |
|------------------------|-------------------------|
| 1. Interurban Building | 4. 311 Occidental Ave S |
| 2. 200 Occidental      | 5. Union Trust Building |
| 3. State Building      | 6. The Grand Central    |
|                        | 7. City Loan            |
|                        | 8. Buttnick Building    |
|                        | 9. 124 S Washington St  |
|                        | 10. Korn Building       |



B | WEST FACING









STREETSCAPES



**LEGEND**

# BUILDING ID      SITE LOCATION

**EXISTING BUILDING PRECEDENTS**

1. The Grand Central	5. Seattle Fire Dept. HQ
2. 200 Occidental Ave S	6. State Building
3. Waterfall Garden Park	7. Union Trust Building
4. Pacific Commercial Building	8. Globe Building

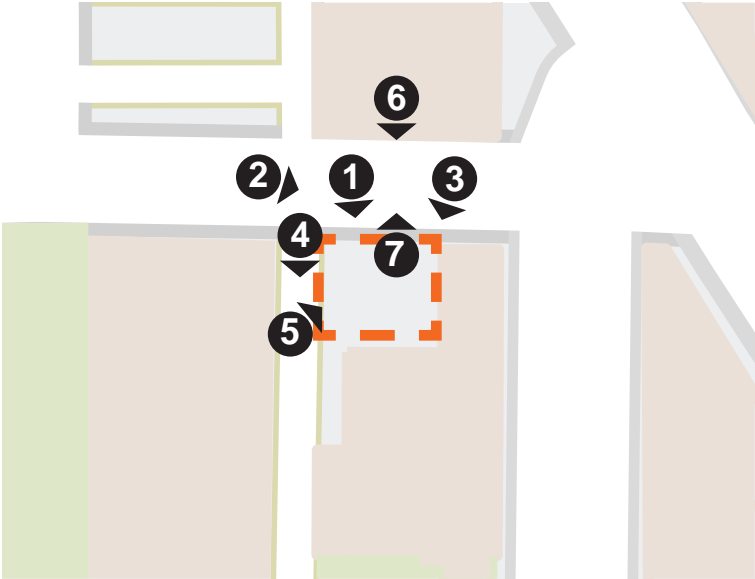








SITE PHOTOS



SITE - AERIAL VIEW



1 LOOKING S AT SITE



2 LOOKING SE AT SITE



3 LOOKING SW AT SITE



4 LOOKING S DOWN ALLEY (W OF SITE)



5 LOOKING NE ON SITE  
(AREAWAY CONDITION)



6 LOOKING S AT SITE (ACROSS STREET)



7 LOOKING N OPPOSITE OF SITE



SITE HISTORY



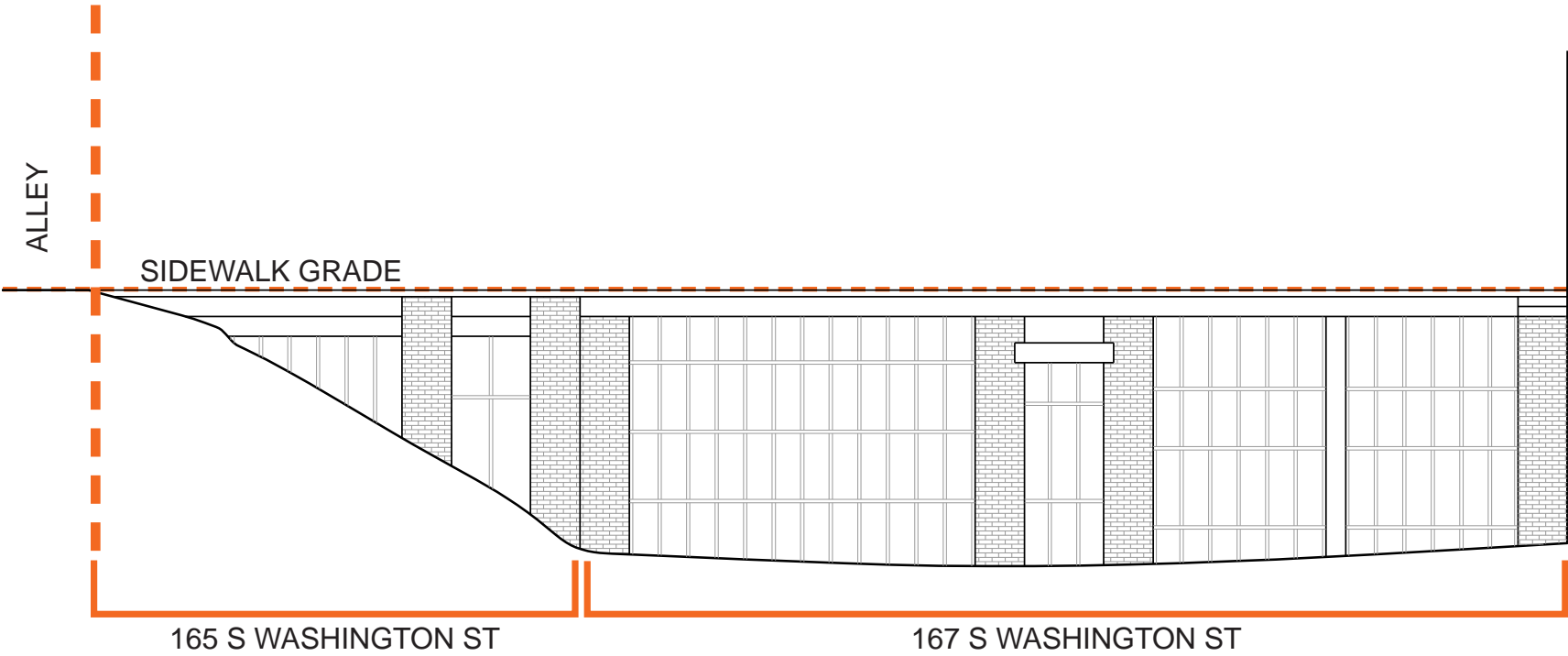
165 S WASHINGTON | BUILT 1889



167 S WASHINGTON | BUILT 1895



REMAINING PORTION OF STRUCTURES (BELOW GRADE)



APPROXIMATE ELEVATION OF REMAINING PORTION OF STRUCTURES



BUILDING DESIGN | MASSING OVERVIEW

OBJECTIVE:

There are multiple building archetypes in the Preservation District of Pioneer Square. Massing is varied and nuanced, so it is our goal to achieve compatibility and clarity between our design and the structures in the district and the immediate vicinity.



UNIFIED

- No distinguishable setbacks or material shifts.
- Material palette carries from top to bottom
- Least common design

BASE | TOP

- Facade divided into a primary base and upper stories
- Base is typically limited to 1st and 2nd level, i.e. storefront
- Material palette often varies between base and top
- Most common design

BASE | MIDDLE | TOP

- Facade divided into a primary base, intermediate stories, and upper stories
- Base is typically limited to 1st and 2nd level, i.e. storefront
- Building is typically five or more stories tall
- Material palette often varies between base and middle/top
- Top separation typically implemented through design elements



BUILDING DESIGN | UNIFIED



UNIFIED - CONCEPT MODEL

BUILDING EXAMPLES

- 1. 200 Occidental
- 2. Pioneer Square Hotel
- 3. Grand Central Arcade



BUILDING DESIGN | BASE / MIDDLE / TOP



BASE | MIDDLE | TOP - CONCEPT MODEL

BUILDING EXAMPLES

- 1. Lowman Building
- 2. John M. Frink Building
- 3. 101 King Street



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ARTWORK

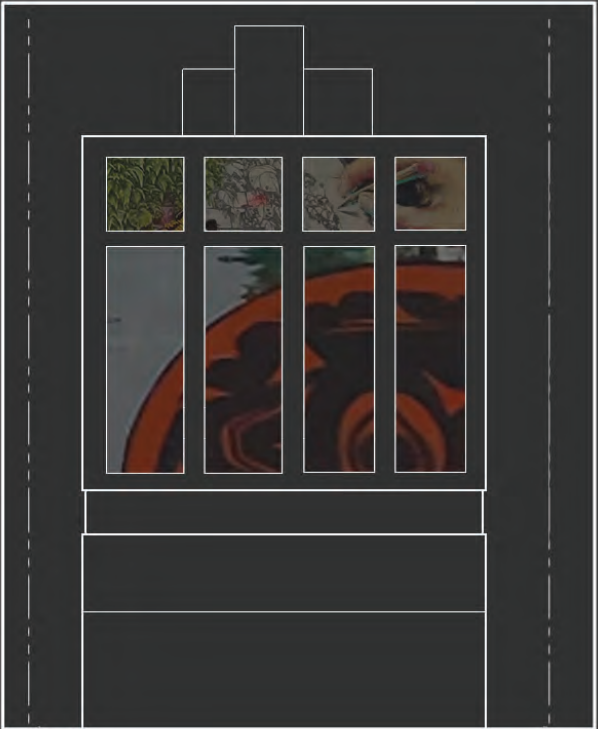


curatorial vision

a celebration of the many intersections that occur across the project:  
  
native x new : washington x 2nd : commerce x culture : history x future :  
and the nature that existed before seattle x the ways we include it in our new  
urban village

request for qualifications + proposals

- 12 months before install: post on cultural sites such as 4culture, cafe, and local news outlets - request will be for work samples and statement of interest
  - 10 months before install: call closes
  - 9 months before install: finalists Invited to submit site specific designs
  - 7 months before install: designs submitted
  - 6 months before install: public vote at artwalk and online, finalists chosen and notified
- After final artwork is chosen:  
Engage Pioneer Square Preservation Board for feedback and final artwork certificate of approval



overall creative

a woman-owned company with a collective 17 years experience curating, designing, managing and installing public and private works in the pacific northwest. focused primarily on large scale murals and assisting artists, communities and clients to achieve their artistic vision. by successfully managing world wide calls to artists, local feedback and voting, overall creative provides an equitable and sensitive approach to the RFQ process.



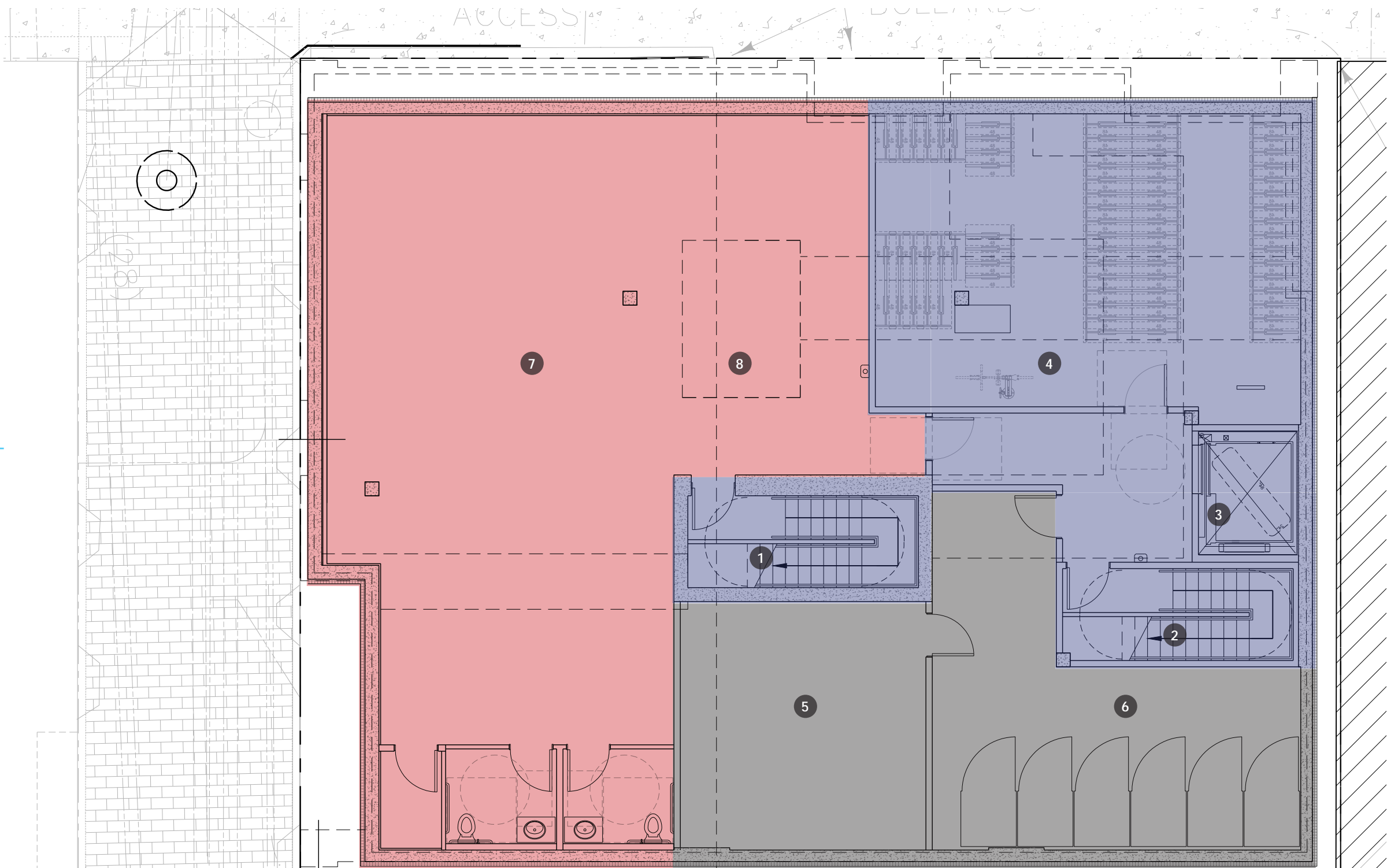


BASEMENT PLAN

KEY

- DWELLING UNITS
- NON RESIDENTIAL
- COMMON / CIRCULATION
- SERVICE

- 1 WEST STAIR
- 2 EAST STAIR
- 3 ELEVATOR
- 4 LONG-TERM BIKE PARKING (71 SPACES)
- 5 MECHANICAL / ELECTRICAL
- 6 RESIDENTIAL STORAGE
- 7 RESTAURANT / RETAIL
- 8 STAIR TO LEVEL 1



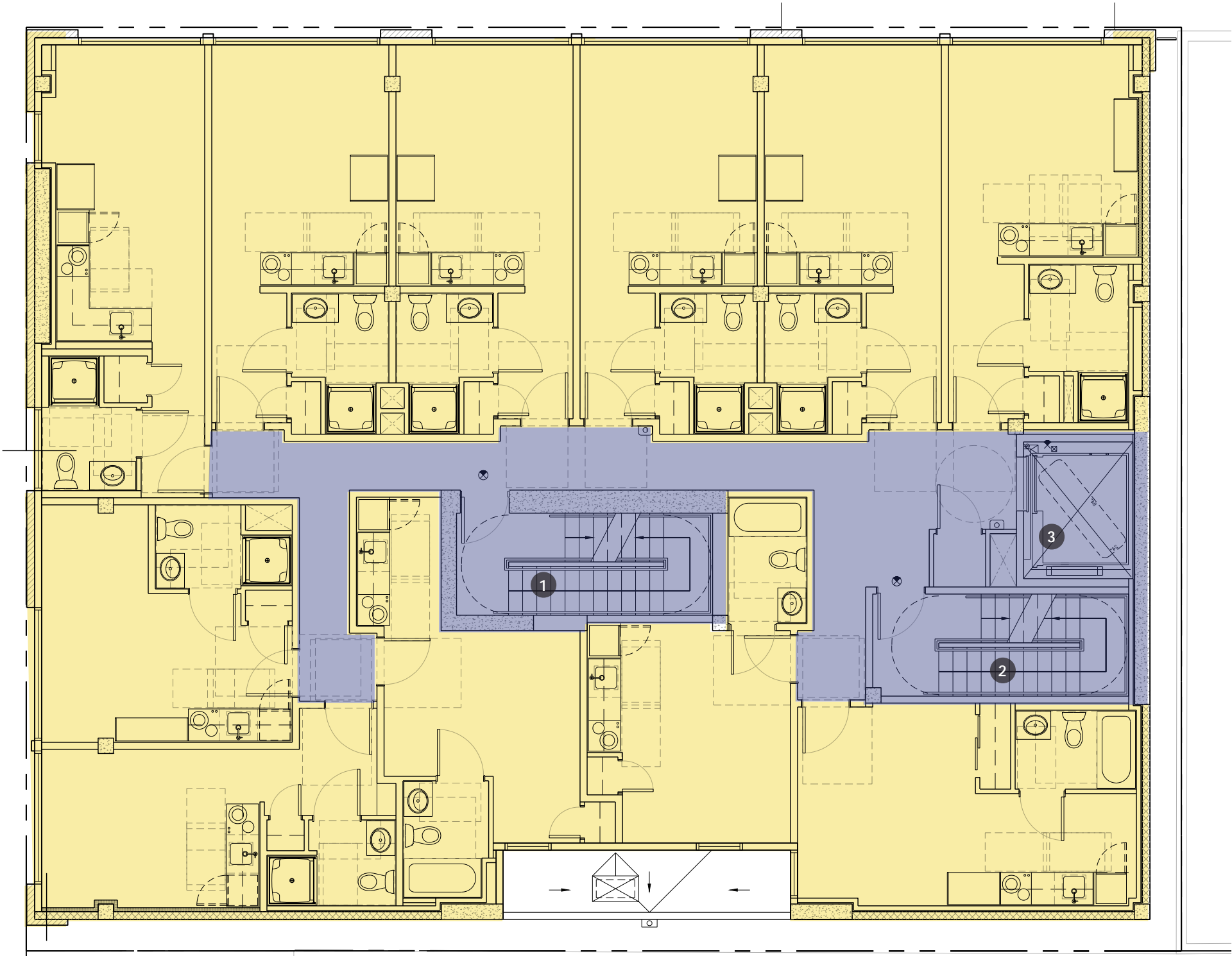
0' 4' 8'



LEVEL 2 PLAN

KEY

- DWELLING UNITS
- NON RESIDENTIAL
- COMMON / CIRCULATION
- SERVICE
- 1 WEST STAIR
- 2 EAST STAIR
- 3 ELEVATOR

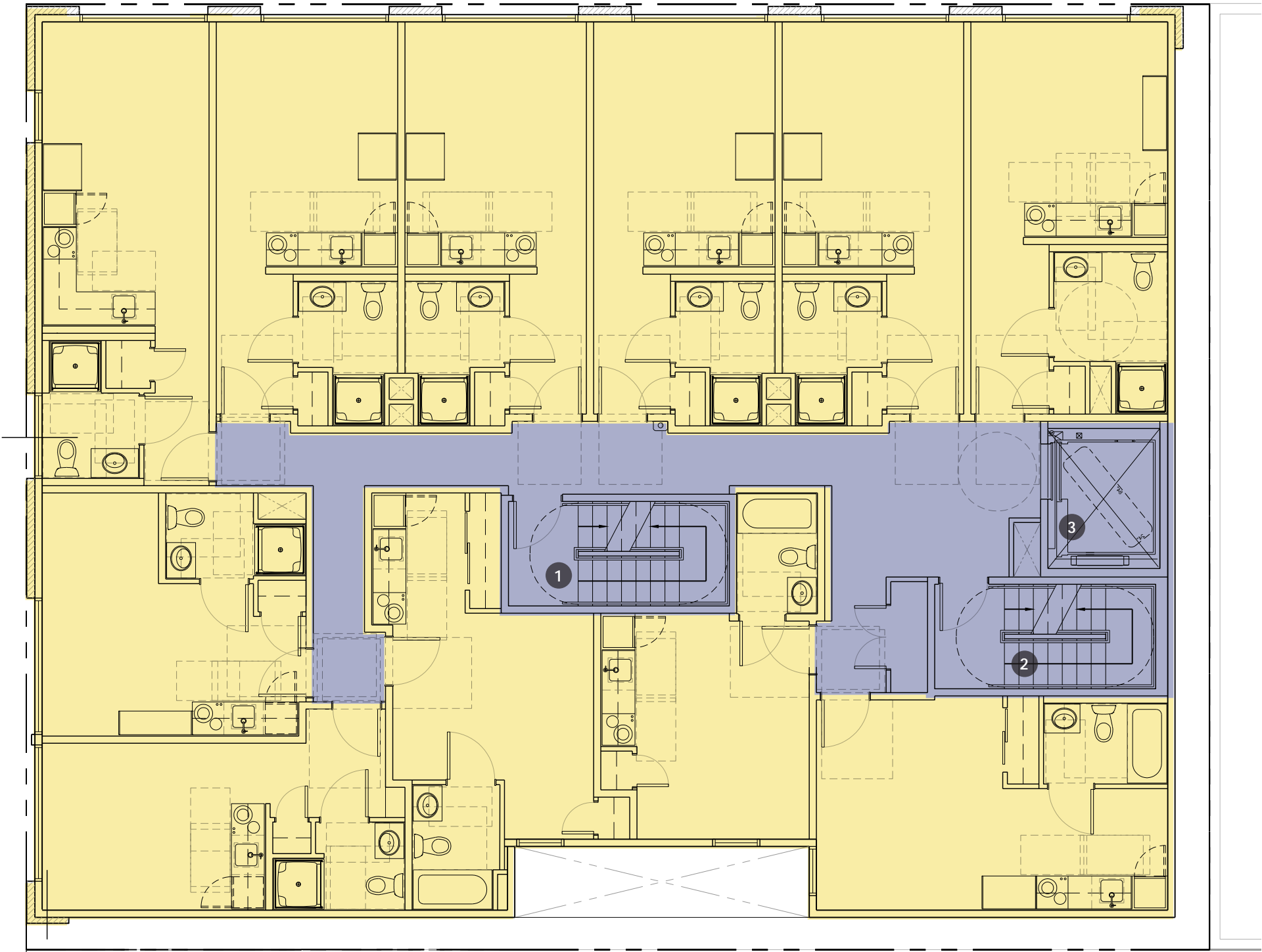




UPPER LEVEL PLAN | 3 - 6 (TYP.)

KEY

- DWELLING UNITS
- NON RESIDENTIAL
- COMMON / CIRCULATION
- SERVICE
- 1 WEST STAIR
- 2 EAST STAIR
- 3 ELEVATOR

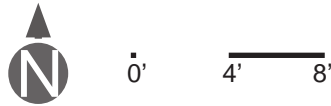
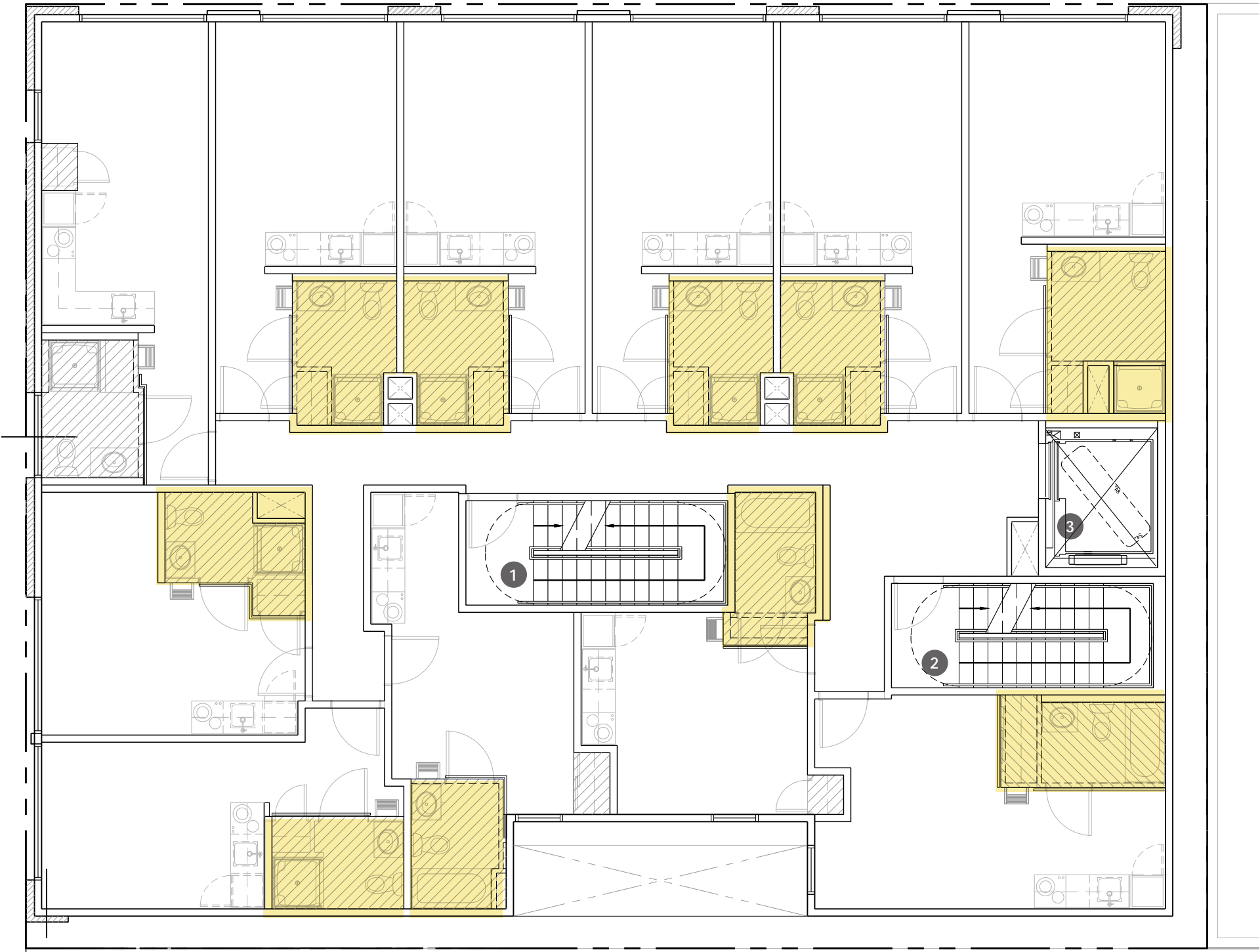




LOFT PLAN | 7 & 8 ONLY

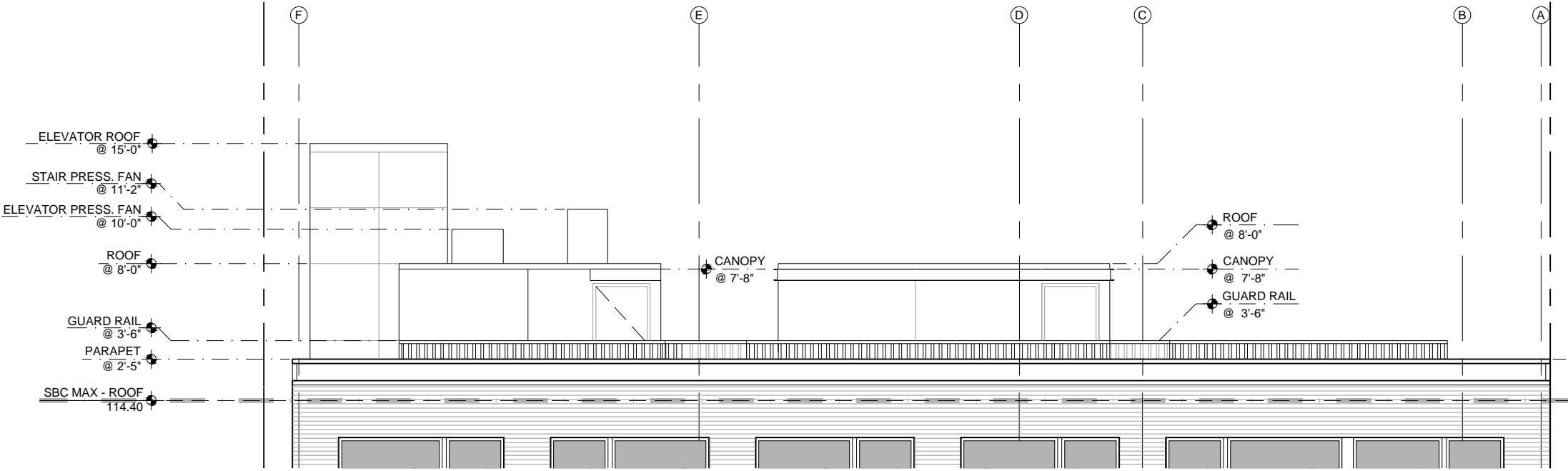
KEY

- DWELLING UNITS
- NON RESIDENTIAL
- COMMON / CIRCULATION
- SERVICE
- 1 WEST STAIR
- 2 EAST STAIR
- 3 ELEVATOR



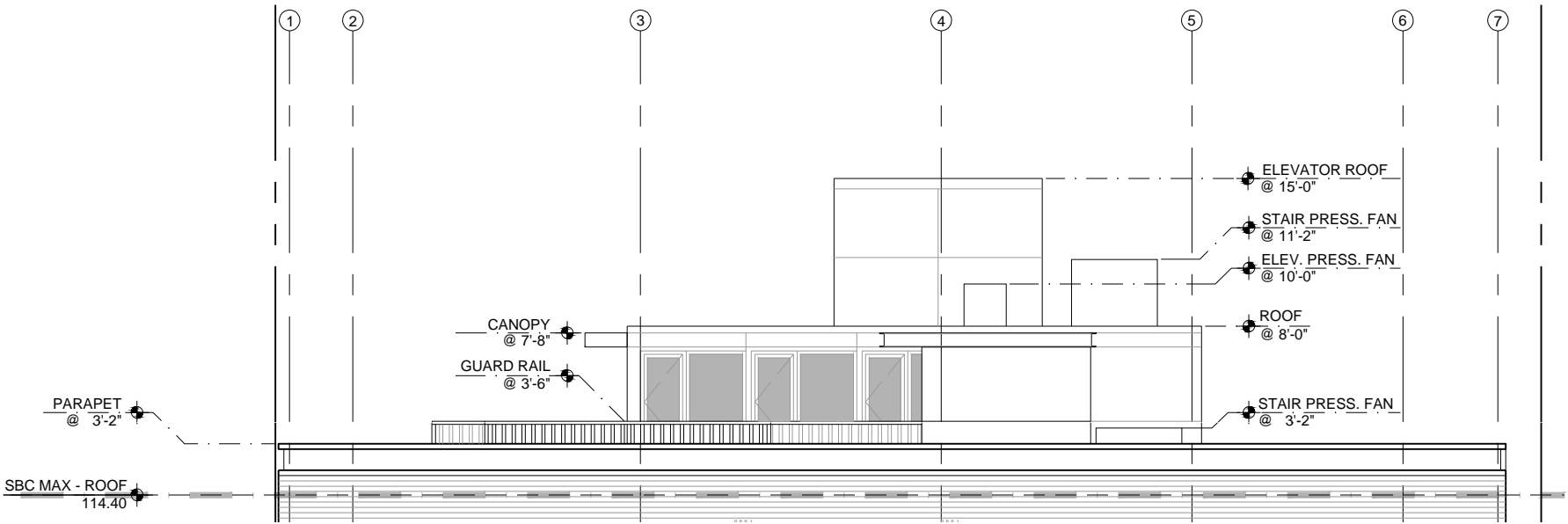


ROOF ELEVATIONS



PARTIAL ROOF ELEVATION - NORTH

1/8" = 1'-0"

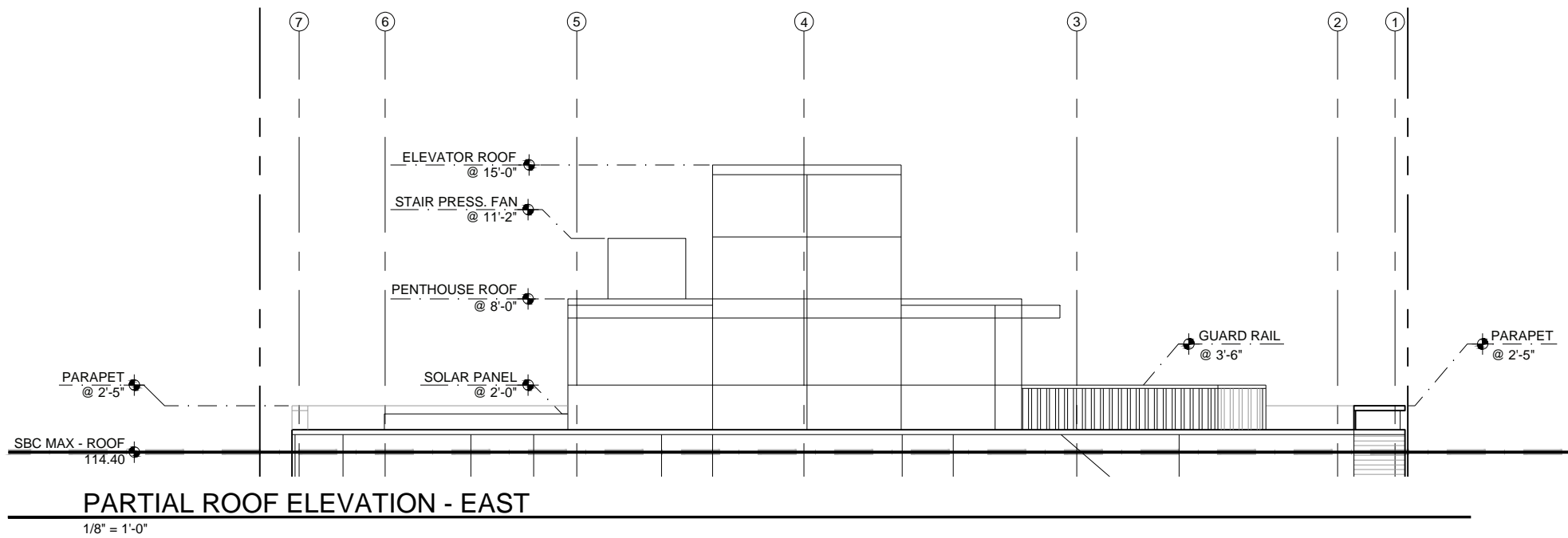
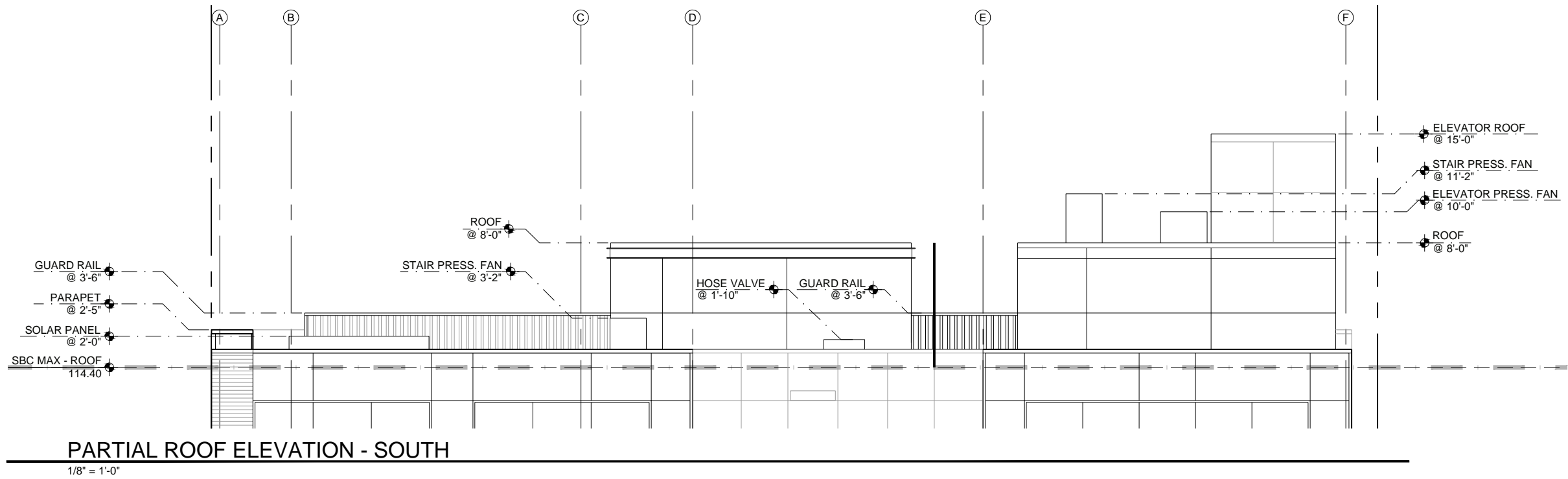


PARTIAL ROOF ELEVATION - WEST

1/8" = 1'-0"

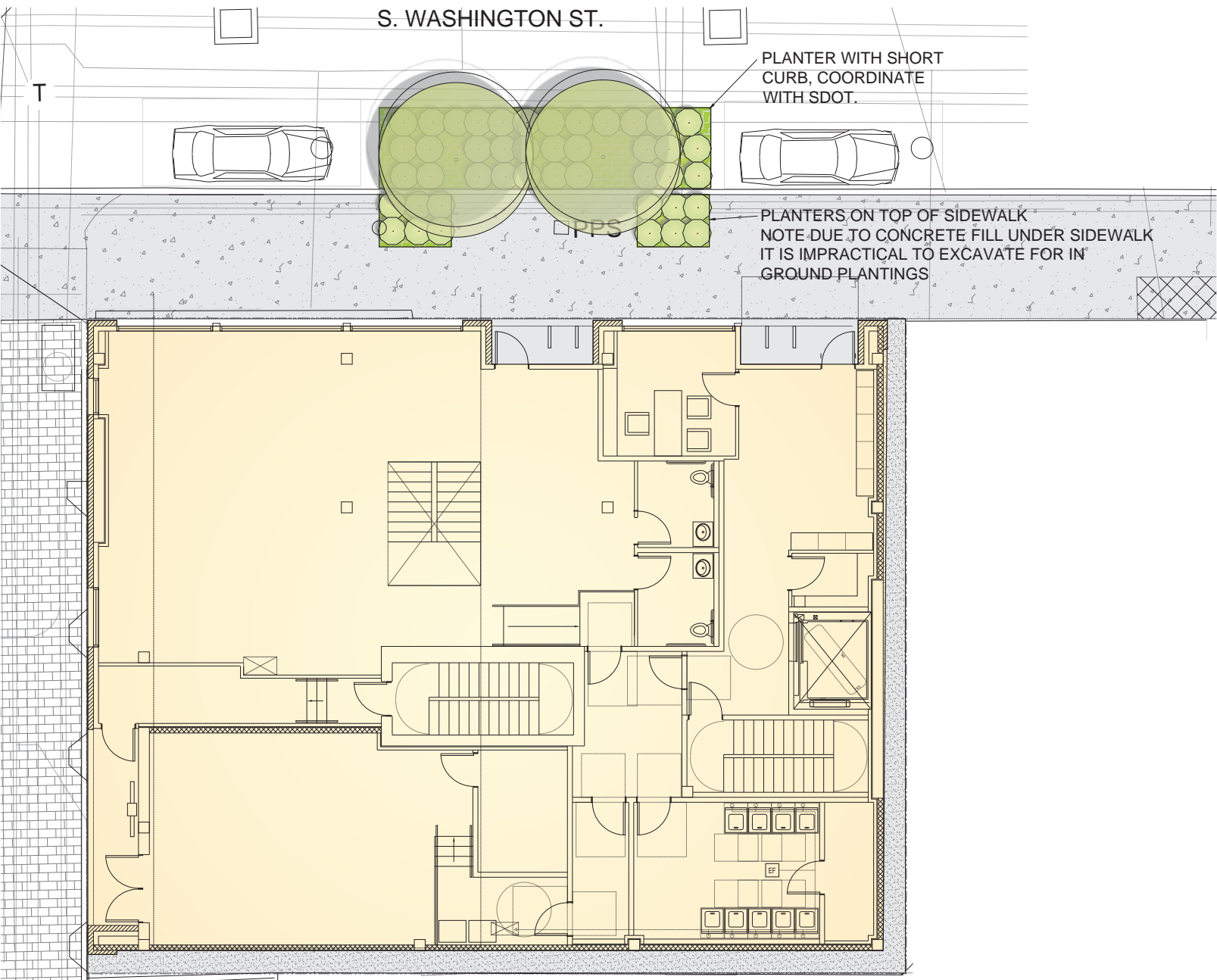


ROOF ELEVATIONS





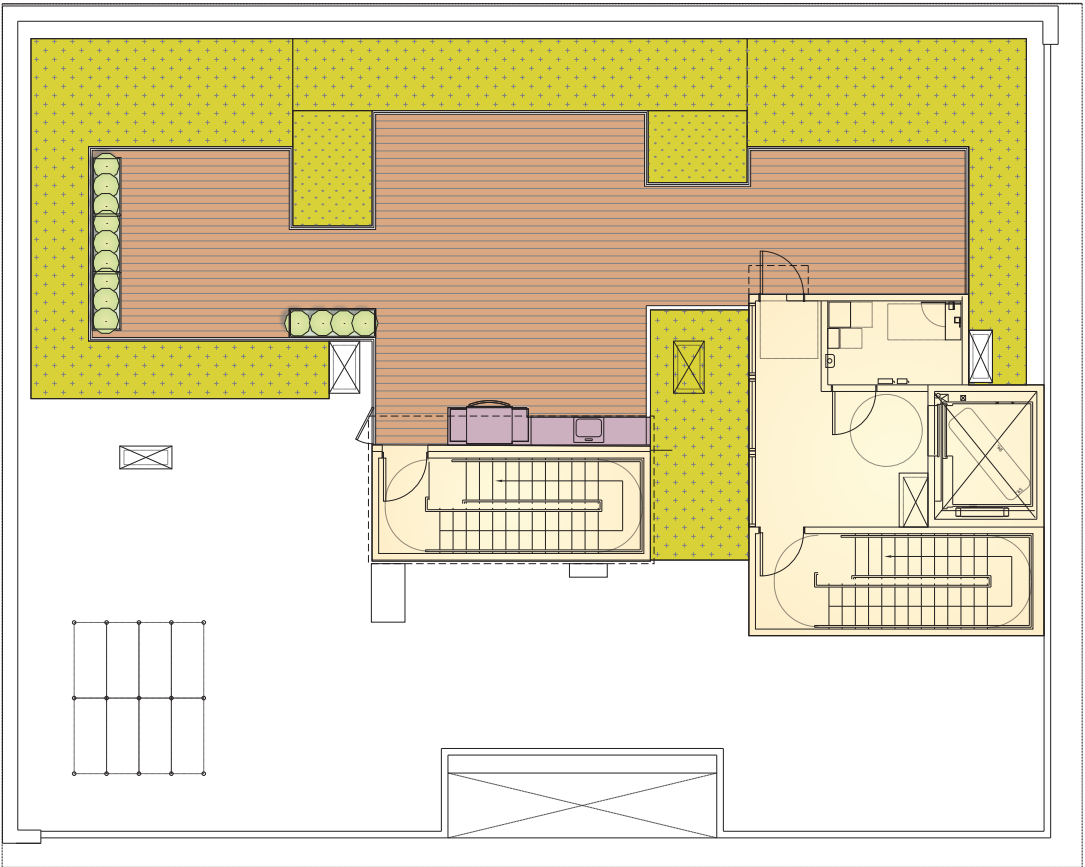
LANDSCAPE



STREET LEVEL PLAN

The street level landscape plan achieves the neighborhood and city goals of providing plantings and trees at the sidewalk level. Due to the existing areaway underneath the sidewalk, the street trees are not able to be located in the standard “planting strip” location. Instead, the “flex space” program is utilized to place the street trees adjacent to the sidewalk. Surface planters on the sidewalk add additional greenery to the sidewalk frontage.

The urban site provides limited opportunities for vast landscape. Instead, landscape is used in areas where it makes the most impact to users and neighbors - the pedestrian realm in front of the building, and adjacent to the rooftop deck. Inherent site challenges (an existing areaway below the sidewalk and weight limits on the roof) required careful consideration and design to meet the project’s goals. The landscape is simple, consistent with other urban sites in both the city and the district. The project uses creative solutions to achieve the green factor requirements (.30), given the site’s constraints.

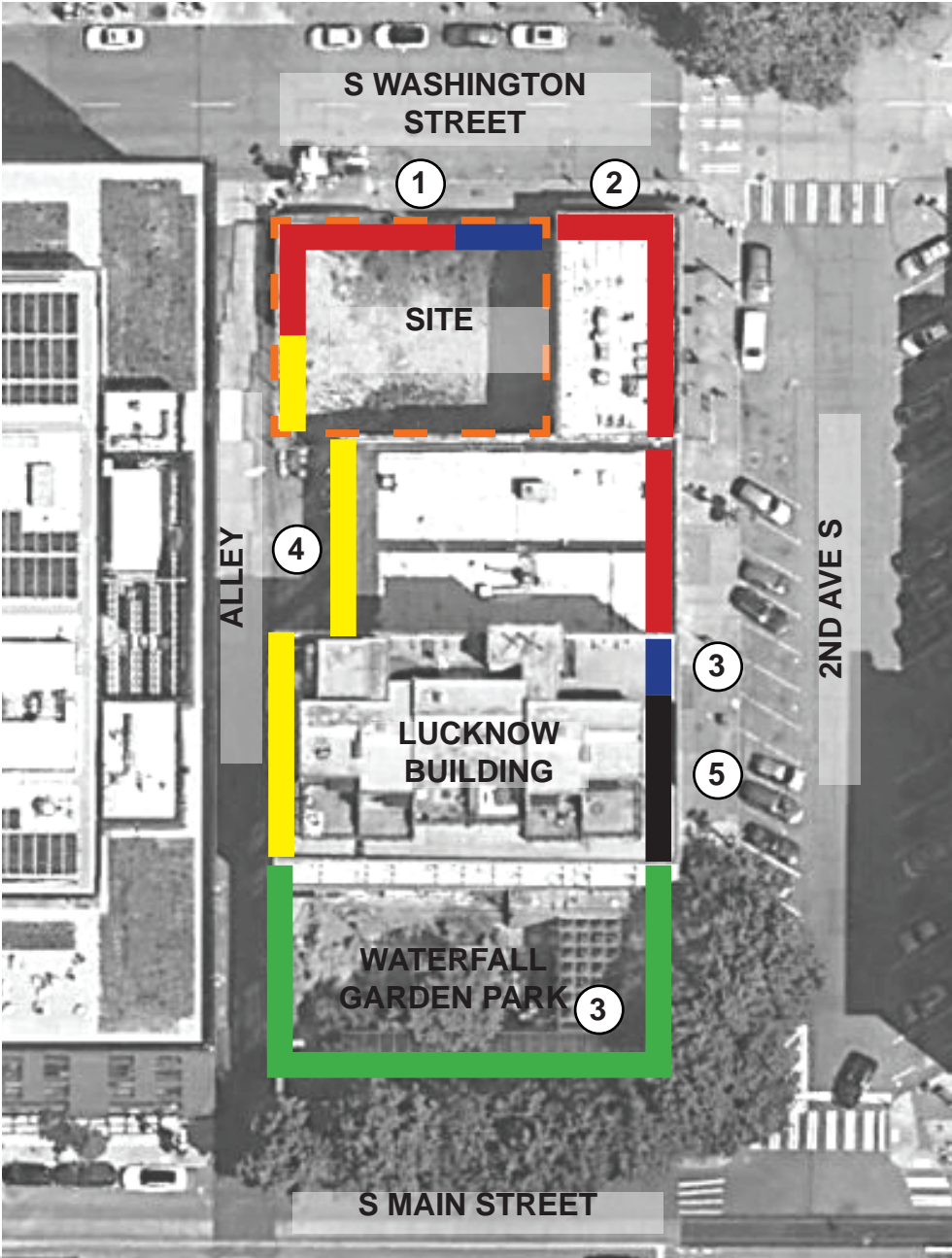


ROOFTOP LEVEL PLAN

Due to the construction type, there are weight limits on the roof system, however the proposed landscape design provides the maximum amount of green roof, given the constraints. Priority was given on bordering the usable roof deck with landscape, which will limit glare for the residents using the deck. Deeper trays that will permit growth of taller grasses and reeds are used to create separation between the various deck areas.



STREET LEVEL USES



SITE



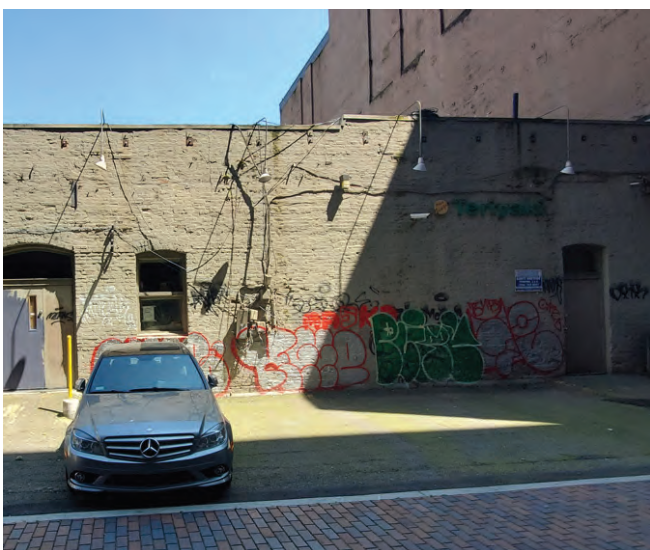
RESTAURANT - 33.7%



RESIDENTIAL - 6.5%



OPEN SPACE



SERVICE / PARKING - 21.7%



VACANT

LEGEND

- 1 IMAGE LOCATION
- 2 SITE LOCATION
- RESTAURANT
- RESIDENTIAL
- SERVICE
- OPEN SPACE
- VACANT / ?

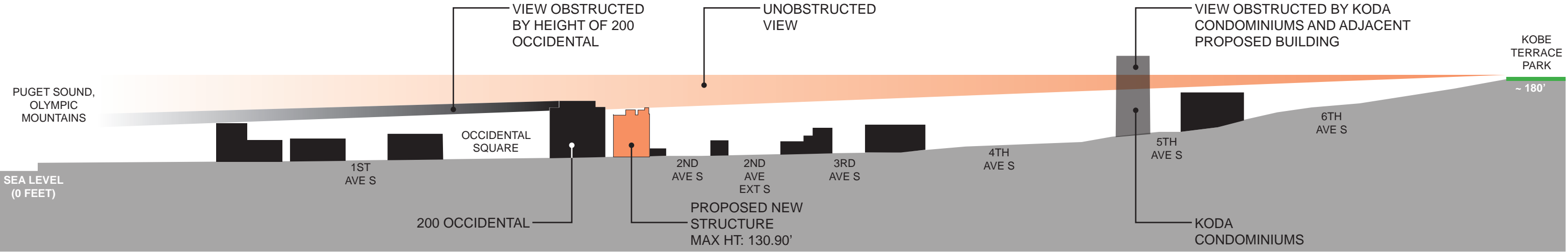
SMC 23.66.130. B, SMC 23.66.130.C

The proposed street level use (Restaurant, < 3,000 SF) is a preferred street level use per SMC 23.66.130.B.1A. Secondary uses are a modest residential entry / lobby and garbage & service uses off the alley. These uses and locations are consistent with other uses on the block.

Per SMC 23.66.130.C.1A, any use occupying more than 50 percent of any block front is discouraged. All proposed uses (Restaurant, residential lobby, and service uses) are compliant with SMC 23.66.130.1A as proposed.



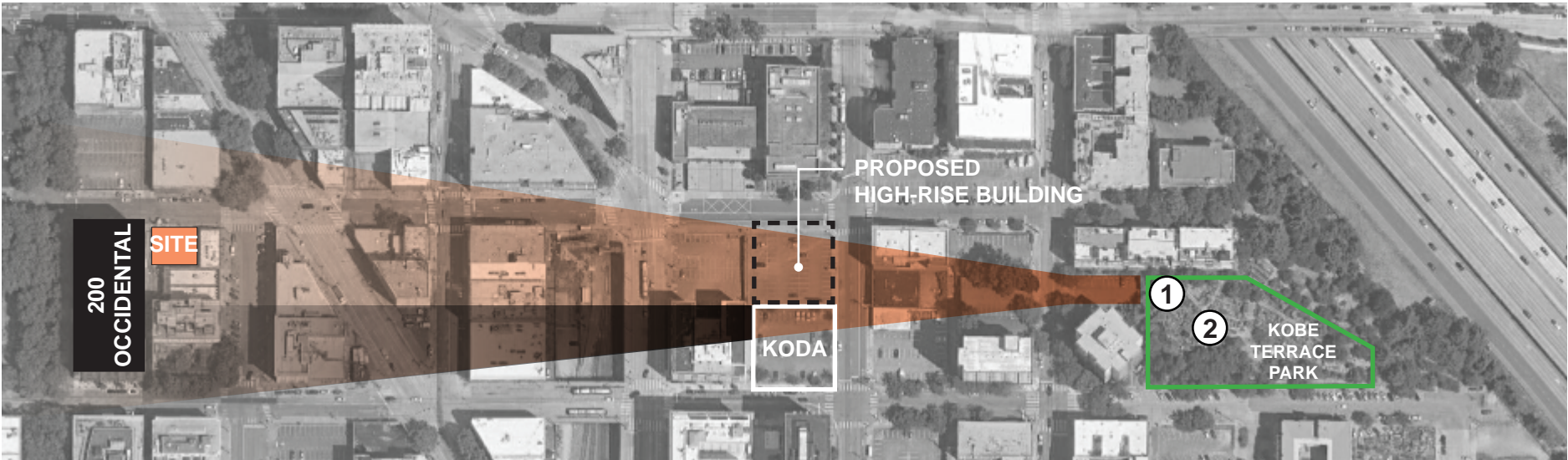
KOBE TERRACE PARK VIEW STUDY



**PER SMC 23.66.140.D |**  
“When new structures are proposed within the district, the preservation board shall review the proposed height of the structure and make recommendations to the department of neighborhoods director who may require design changes to assure the reasonable protection of views from Kobe Terrace Park.”

**ANALYSIS |**  
The field of vision from the park west towards the views is narrowed by the two structures flanking the west portion of the park. The field of vision is further narrowed by the currently under-construction Koda condominiums at the corner of 5th and Main, which obscures views to the south. A proposed high-rise development, of similar height and scale to Koda has been proposed for the property immediately north which will ultimately block any view towards the site. Regardless of these visual obstructions the maximum proposed structure height at the top of the elevator overrun penthouse is 130.90’, significantly below the 180’ elevation of Kobe Terrace Park to the east, and approximately 12’ lower than the maximum height of the adjacent 200 Occidental building to the west.

**CONCLUSION |**  
The proposed structure does not impede views from Kobe Terrace Park towards the Sound and Olympic Mountains. This is largely due to the substantial elevation change between the site and park, as well as the view already being restricted or reduced by structures adjacent to the park, the Koda condominiums and future adjacent development, and the 200 Occidental building.



The site is located directly west from Kobe Terrace park and in the few areas that afford a view west unobstructed by the adjacent structures, there are other visual impediments such as dense vegetation and the currently under construction Koda condominiums.



DEVELOPER WORK SAMPLES

JOHNSON CARR, LLC.



JOHNSON CARR, LLC.

skidmore  
janette  
architecture  
planning  
design

165/167 S WASHINGTON ST

PIONEER SQUARE PRESERVATION BOARD  
COA ADDENDUM 10/12/2020

WORK SAMPLES  
JOHNSON CARR LLC.